

TULSA METROPOLITAN AREA PLANNING COMMISSION

Meeting No. 2791

April 3, 2019, 1:30 PM

175 East 2nd Street, 2nd Level, One Technology Center
Tulsa City Council Chamber

CONSIDER, DISCUSS AND/OR TAKE ACTION ON:

Call to Order:

REPORTS:

Chairman's Report:

Work session Report:

Director's Report:

Review TMAPC Receipts for the month of February 2019

1. Minutes of March 06, 2019, Meeting No. 2789

CONSENT AGENDA:

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.

2. Z-7140-SP-1f Edward Pruitt (CD 2) Location: North and east of the northeast corner of South Union Avenue and West 91st Street South requesting a **CO Minor Amendment** to reduce the side yard setback
3. PUD-648-B-2 Tanner Consulting, LLC (CD 2) Location: Northeast corner of West 71st Street South and South Olympia Avenue requesting a **PUD Minor Amendment** to revise number of lots, setbacks, floor area, lighting and signage
4. PUD-648-B-3 Darby Clarke (CD 2) Location: Northeast corner of West 71st Street South and South Olympia Avenue requesting a **PUD Minor Amendment** to revise wall signage standards

PUBLIC HEARINGS:

5. Public hearing approving new capital improvement projects for the Capital Improvement Plan

6. **ZCA-13**, amendments to the Tulsa Zoning Code, Title 42 Tulsa Revised Ordinances, to provide for principal and accessory short-term rental uses, to identify zoning districts in which such uses are permitted, and to establish supplemental use regulations for such uses. (Continued from March 6th, 2019)
7. **Greenhill Industrial Park I** (CD 3) Preliminary Plat, Location: East of the northeast corner of North Garnett Road and East 43rd Street North
8. **MR-6** (CD 9) Modification to the Subdivision & Development Regulations to remove the sidewalk requirement for a single-family residence, Location: South of the southwest corner of East 43rd Street South and South Birmingham Avenue
9. **Z-7473 Phil Frazier** (CD 6) Location: South of the southeast corner of East 4th Place South and South 129th East Avenue rezoning from **RS-2 to CG (Staff requests a continuance to April 17th, 2019)**
10. **Z-7476 Lou Reynolds** (CD 5) Location: Northeast corner of South Memorial Drive and East 16th Street South requesting rezoning from **OL to CS**
11. **CZ-485 Danielle Pennington** (County) Location: South of the southwest corner of East 106th Street North and North 129th East Avenue requesting rezoning from **RE to CS**

OTHER BUSINESS

12. Consider initiation of revisions and executive summary of West Highlands/Tulsa Hills Small Area Plan

13. **Commissioners' Comments**

ADJOURN

CD = Council District

NOTE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526. Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Tulsa Planning Office, INCOG. Ringing/sound on all cell phones must be turned off during the Planning Commission.

Visit our website at www.tmapc.org

email address: esubmit@incog.org

TMAPC Mission Statement: The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.

TMAPC RECEIPTS
Month of February 2019

	----- Current Period -----			----- Year To Date -----				
	ITEM	CITY	COUNTY	TOTAL RECEIVED	ITEM	CITY	COUNTY	TOTAL RECEIVED
ZONING								
Zoning Letters	1	\$37.50	\$37.50	\$75.00	78	3,975.00	3,975.00	\$7,950.00
Zoning	8	3,875.00	3,875.00	7,750.00	54	26,600.00	26,600.00	53,200.00
Plan Reviews	14	2,250.00	2,250.00	4,500.00	131	15,575.00	15,575.00	31,150.00
Refunds		0.00	0.00	0.00		(450.00)	(450.00)	(900.00)
NSF		0.00	0.00	0.00		0.00	0.00	0.00
		<u>\$6,162.50</u>	<u>\$6,162.50</u>	<u>\$12,325.00</u>		<u>\$45,700.00</u>	<u>\$45,700.00</u>	<u>\$91,400.00</u>
LAND DIVISION								
Minor Subdivision	0	\$0.00	\$0.00	\$0.00	0	\$0.00	\$0.00	0.00
Preliminary Plats	1	600.00	600.00	1,200.00	17	\$10,200.00	\$10,200.00	20,400.00
Final Plats	1	450.00	450.00	900.00	8	\$3,600.00	\$3,600.00	7,200.00
Development Reg. Compliance	1	75.00	75.00	150.00	1	\$75.00	\$75.00	150.00
Lot Splits	6	475.00	475.00	950.00	41	\$3,550.00	\$3,550.00	7,100.00
Lot Line Adjustment	7	525.00	525.00	1,050.00	64	\$4,700.00	\$4,700.00	9,400.00
Other	1	50.00	50.00	100.00	12	\$1,375.00	\$1,375.00	2,750.00
NSF		0.00	0.00	0.00		\$0.00	\$0.00	0.00
Refunds		0.00	0.00	0.00		\$0.00	\$0.00	0.00
		<u>\$2,175.00</u>	<u>\$2,175.00</u>	<u>\$4,350.00</u>		<u>\$23,500.00</u>	<u>\$23,500.00</u>	<u>\$47,000.00</u>
TMAPC COMP								
Comp Plan Admendment	0	\$0.00	\$0.00	\$0.00	2	\$625.00	\$0.00	\$625.00
Refund		<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>		<u>(\$300.00)</u>	<u>\$0.00</u>	<u>(\$300.00)</u>
		<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>		<u>\$325.00</u>	<u>\$0.00</u>	<u>\$325.00</u>
BOARDS OF ADJUSTMENT								
Fees	20	\$5,100.00	\$4,100.00	\$9,200.00	157	\$44,600.00	\$14,850.00	\$59,450.00
Refunds		(300.00)	0.00	(\$300.00)		(\$2,550.00)	(\$1,350.00)	(3,900.00)
NSF Check		0.00	0.00	\$0.00		\$0.00	(\$500.00)	(500.00)
		<u>\$4,800.00</u>	<u>\$4,100.00</u>	<u>\$8,900.00</u>		<u>\$42,050.00</u>	<u>\$13,000.00</u>	<u>\$55,050.00</u>
TOTAL		\$13,137.50	\$12,437.50	\$25,575.00		\$111,575.00	\$82,200.00	\$193,775.00
LESS WAIVED FEES *		\$0.00	\$0.00	\$0.00		(\$2,191.39)		(\$2,191.39)
GRAND TOTALS		\$13,137.50	\$12,437.50	\$25,575.00		\$109,383.61	\$82,200.00	\$191,583.61

* Advertising, Signs & Postage Expenses for City of Tulsa Applications with Fee Waivers.

FEBRUARY 2019 receipt comparison

	FEB. 2019	JAN. 2019	FEB. 2018
Zoning Letters	1	16	8
Zoning	8	13	2
Plan Reviews	14	12	17
Minor Subdivisions	0	0	0
Preliminary Plats	1	5	1
Final Plats	1	2	4
Development Regulations Compliance (includes plat waivers prior to 5/10/2018)	1	0	2
Lots Splits	6	6	9
Lot Line Adjustments (includes lot combinations prior to 5/10/2018)	7	16	0
Other	1	1	0
Comp Plan Amendments	0	1	1



Case Number: Z-7140-SP-1f
Minor Amendment

Hearing Date: April 3, 2019

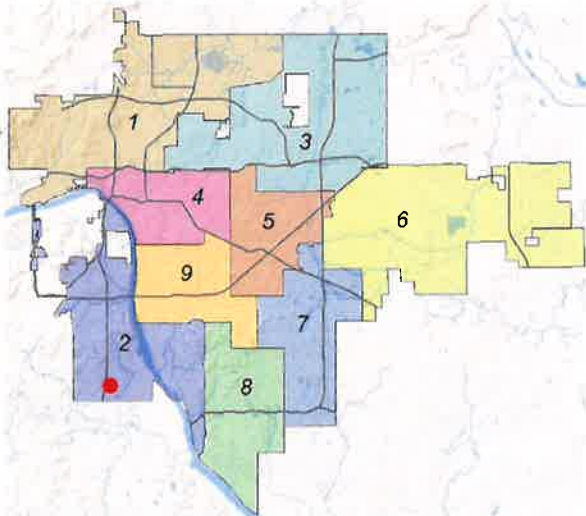
Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:

Applicant: Edward Pruitt

Property Owner: Same

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Concept summary: Corridor Minor amendment to reduce the side yard setback from 5 feet to 4.8 feet to permit an existing structure.

Gross Land Area: 0.19 acres

Location: North and East of the NE/c S Union Ave & W 91st St S

908 W 85th St S

Lot 15, Block 7 Hyde Park at Tulsa Hills

Zoning:
 Existing Zoning: CO
 Proposed Zoning: No Change

Comprehensive Plan:
 Land Use Map: Existing Neighborhood
 Growth and Stability Map: Stability

Staff Recommendation:
 Staff recommends **approval**

Staff Data:
 TRS: 8214
 CZM: 51 Atlas: 1584

City Council District: 2
Councilor Name: Jeannie Cue

County Commission District: 2
Commissioner Name: Karen Keith

2.1

SECTION I: Z-7140-SP-1f Minor Amendment

STAFF RECOMMENDATION

Amendment Request: Modify the Corridor Plan development standards to reduce the side yard setback from 5 feet to 4.8 feet to permit an existing structure.

The current Corridor Development standards for this site limit the side yard setback to 5 feet. A new home has been constructed and is existing on the site, which encroaches into the 5 ft setback by 0.2 ft. This proposed amendment would reduce the required setback just enough to permit the existing structure.

Staff Comment: *This request can be considered a Minor Amendment as outlined by Section 25.040D.3.b(5) of the Corridor District Provisions of the City of Tulsa Zoning Code.*

“Minor amendments to an approved corridor development plan may be authorized by the Planning Commission, which may direct the processing of an amended development plan and subdivision plat, incorporating such changes, so long as substantial compliance is maintained with the approved development plan. “

Staff has reviewed the request and determined:

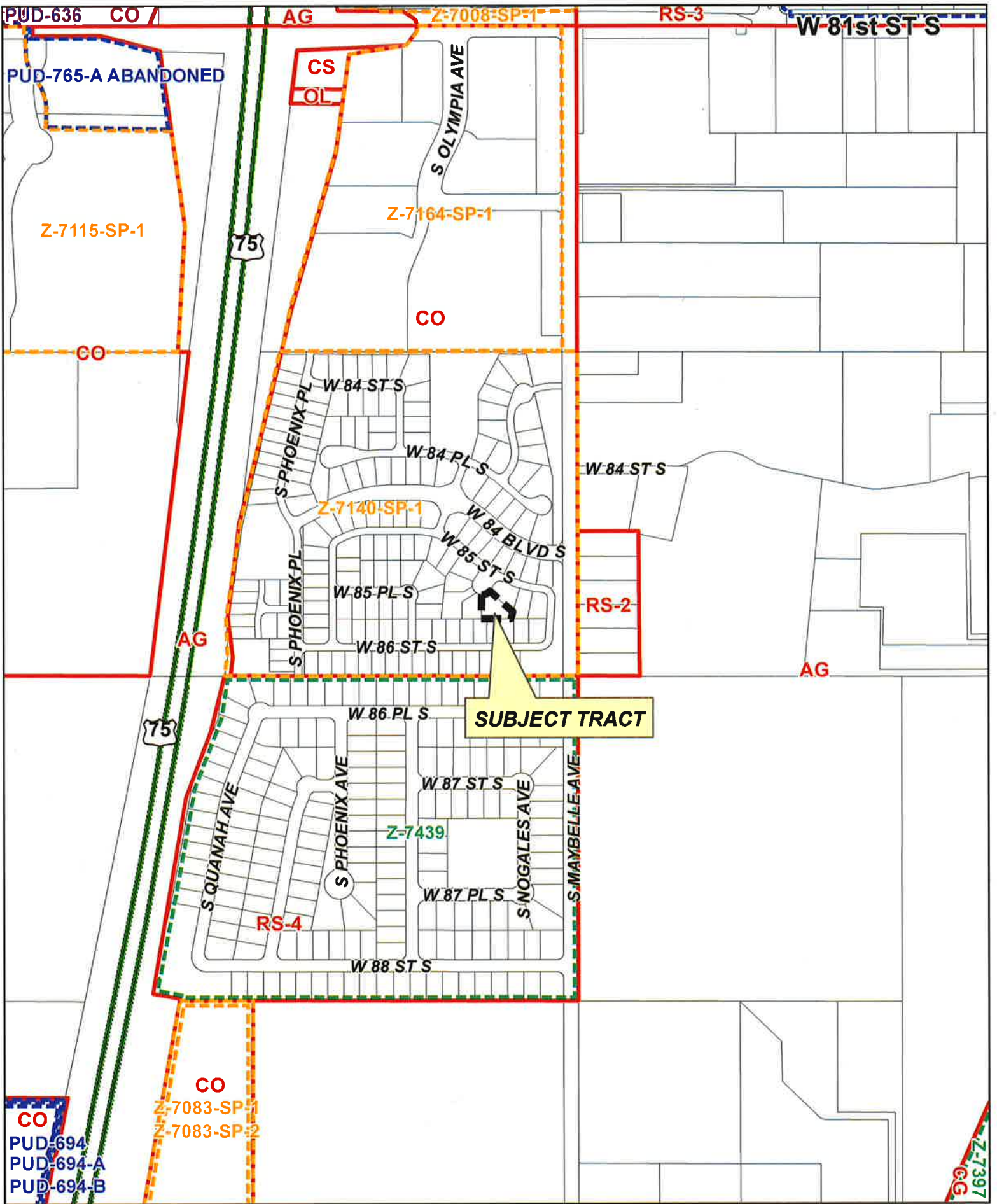
- 1) The requested amendment does not represent a significant departure from the approved development standards in the Corridor Development Plan.
- 2) All remaining development standards defined in Z-7140-SP-1 and subsequent amendments shall remain in effect.

Exhibits included with staff recommendation:

- INCOG zoning case map
- INCOG aerial photo
- INCOG aerial photo (enlarged)
- Applicant Survey

With considerations listed above, staff recommends **approval** of the minor amendment request to reduce the required side yard setback from 5 feet to 4.8 feet.

2.2



SUBJECT TRACT

Z-7140-SP-1-f

2.3



PUD-636

CO

AG

Z-7008-SP-1

RS-3

W-81st-ST-S

PUD-765-A ABANDONED

CS

OL

S OLYMPIA AVE

Z-7164-SP-1

Z-7115-SP-1

75

CO

CO

AG

75

SUBJECT TRACT

RS-2

AG

S SQUANNAH AVE

S PHOENIX PL

W 86 PL S

W 87 ST S

Z-7439

W 87 PL S

S NOGALES AVE

S MAYBELLE AVE

RS-4

W 88 ST S

CO

Z-7083-SP-1

Z-7083-SP-2

CO

PUD-694

PUD-694-A

PUD-694-B

Z-7397

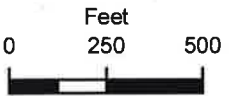
CG



W 81st ST S

75

75



Subject Tract

Z-7140-SP-1-f

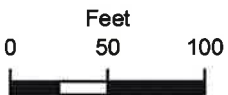
18-12 14

2.4

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018





Subject Tract

Z-7140-SP-1-f

18-12 14

2.5

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018



REGISTERED LAND SURVEYOR'S INSPECTION
 PLAT AND CERTIFICATE FOR MORTGAGE
 LOAN PURPOSE

COLLINS LAND SURVEYING, INC.
 3340 W. 151st ST. S. - P.O. Box 250
 KIEFER, OK. 74041
 OFFICE (918)321-9400 FAX (918)321-9404

J.O. NO.: 19-02-099
 American Abstract
 Customer: and Title Company
 Borrower: ROK Residence, LLC
 19-02-2198
 Plat No: 6394

B/L=Building Line
 U/E=Utility Esmt.
 F/E=Fence Esmt.

OB/L-Out Building Line
 SW/E=Sidewalk Esmt.
 R/W=Right of Way

D/E=Drainage Esmt.
 B/E=Buried Tele. & Elec. Cable Esmt.
 S/E=Service Entrance

SCALE: 1"=30'



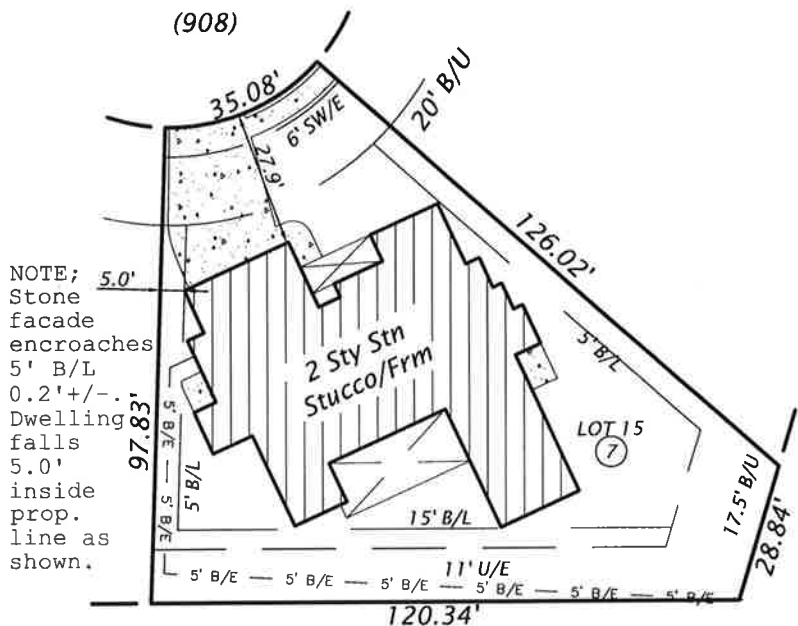
SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "UNSHADED X" AN AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON FIRM MAP#405381 0342L, DATED 10/16/2012.

The following documents do not apply to or affect subject property;

Blanket Ord. at Bk. 3698, Pg. 237 applies to and affects entire subdivision.

- | | |
|------------|------|
| Bk. | Pg. |
| 799 | 349 |
| 1019 | 506 |
| 1203 | 494 |
| 2171 | 489 |
| 2171 | 511 |
| 3492 | 48 |
| 4339 | 2068 |
| 6273 | 2604 |
| 6299 | 2096 |
| 1803 | 387 |
| 1808 | 128 |
| 1803 | 388 |
| 2922 | 279 |
| 3459 | 29 |
| 5359 | 2466 |
| 5404 | 1101 |
| 7119 | 1683 |
| 7119 | 1685 |
| Doc. Nos.; | |
| 2007057637 | |
| 2006110524 | |
| 2006110525 | |
| 2009002120 | |
| 2010041910 | |
| Case#48991 | |
| 2007057677 | |
| 2007059953 | |
| 2012069508 | |

W. 85th St. S.
 (908)



THIS PLAT IS MADE FOR AND AT THE REQUEST OF:

American Abstract & Title Company / American Heritage Bank
 FOR MORTGAGE LOAN PURPOSES ONLY COVERING LEGAL DESCRIPTION AS PROVIDED

Lot Fifteen (15), Block Seven (7), Hyde Park at Tulsa Hills, a Subdivision in the City of Tulsa, Tulsa County, State of Oklahoma, according to the Recorded Plat No. 6394.

Property address: 908 West 85th Street South, Tulsa, Oklahoma

SURVEYORS STATEMENT

COLLINS LAND SURVEYING INC., AN OKLAHOMA CORPORATION, AND THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY STATE THAT IN OUR PROFESSIONAL OPINION, THE ABOVE INSPECTION PLAT SHOWS THE DWELLING AS LOCATED ON THE PREMISES DESCRIBED, THAT IT IS ENTIRELY WITHIN THE DESCRIBED TRACT BOUNDARIES AND THERE ARE NO ENCROACHMENTS THEREON BY VISIBLE PERMANENT IMPROVEMENTS, EXCEPT AS INDICATED: THAT THE ABOVE INSPECTION PLAT SHOWS ALL RECORDED PLAT EASEMENTS AND OTHER SUCH EASEMENTS WHICH HAVE BEEN DISCLOSED BY A CURRENT TITLE OPINION OR BY COMMITMENT FOR TITLE INSURANCE AND COPIES THEREOF PROVIDED TO US; THAT THIS INSPECTION PLAT WAS PREPARED FOR IDENTIFICATION ONLY FOR THE MORTGAGEE AND IS NOT A LAND OR BOUNDARY LINE SURVEY. THAT NO PROPERTY CORNERS WERE SET, AND IS NOT TO BE USED OR RELIED UPON, FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER IMPROVEMENTS. THAT UNDERGROUND UTILITIES WERE NOT FIELD LOCATED AND THEREFORE ARE NOT SHOWN ON THIS INSPECTION PLAT UNLESS SPECIFICALLY REQUESTED BY THE CLIENT; THAT THIS INSPECTION PLAT WAS PREPARED SOLELY FOR THE CLIENT LISTED HEREON AND MAY NOT BE USED FOR ANY SUBSEQUENT LOAN CLOSING, REFINANCE, OR OTHER TRANSACTION; AND THAT NO RESPONSIBILITY OR LIABILITIES ASSUMED HEREIN OR HEREBY TO THE PRESENT OR FUTURE LAND OWNER OR OCCUPANT. BURIED SERVICE CABLE LOCATIONS ARE APPROXIMATE. CALL OKIE BEFORE DIGGING 1-(800)-522-6543.

WITNESS MY HAND AND SEAL THIS DATE:
 FINAL; 03/06/2019



K.S. Collins

K.S. COLLINS
 OKLAHOMA REGISTERED
 LAND SURVEYOR NO. 1259
 CA#2656 EXPIRES: 06/30/2020



2.4



Case Number: PUD-648-B-2
Minor Amendment

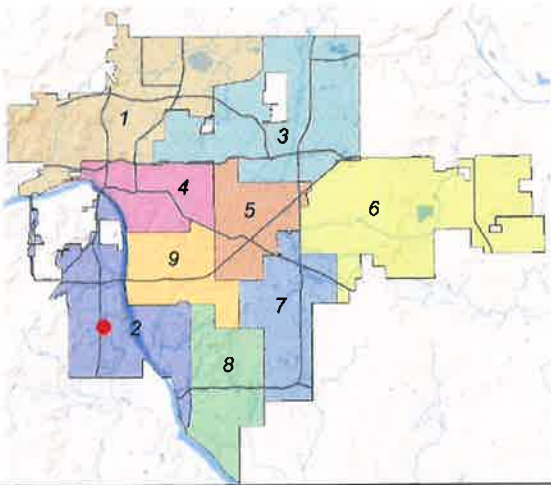
Hearing Date: April 3, 2019

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Tanner Consulting, LLC

 Property Owner: Olympia Land Development, LLC

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Concept summary: PUD minor amendment to revise number of lots, setbacks, floor area, lighting and signage.

Gross Land Area: 1.53 acres

Location: NE/c W 71st St S and S Olympia Ave

Development Area E

Zoning:
 Existing Zoning: CO/PUD-648-B
 Proposed Zoning: No Change

Comprehensive Plan:
 Land Use Map: Town Center
 Growth and Stability Map: Growth

Staff Recommendation:
 Staff recommends **approval**.

Staff Data:
 TRS: 8202

City Council District: 2
Councilor Name: Jeannie Cue

County Commission District: 2
Commissioner Name: Karen Keith

SECTION I: PUD-648-B-2 Minor Amendment

STAFF RECOMMENDATION

Amendment Request: Revise the development standards to permit two lots, distribute floor area, revise setbacks, signage and lighting to permit a dental clinic and fast-food restaurant.

Currently, the development standards limit Development Area E to one lot. This is proposed to be revised to two lots so that the dental clinic and restaurant will be on separate parcels. The Development Standards were established with the one lot configuration in mind, so the applicant is also proposing revisions to other standards to allow both uses in the Development Area.

The proposed revisions to the Development Standards are listed on that attached letter from Tanner Consulting, giving an overview of the proposal and the revised standards.

Staff Comment: *This request can be considered a Minor Amendment as outlined by Section 30.010.1.2.c(9) of the City of Tulsa Zoning Code.*

“Changes in structure heights, building setbacks, yards, open spaces, building coverage and lot widths or frontages, provided the approved PUD development plan, the approved standards and the character of the development are not substantially altered.”

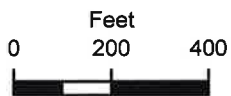
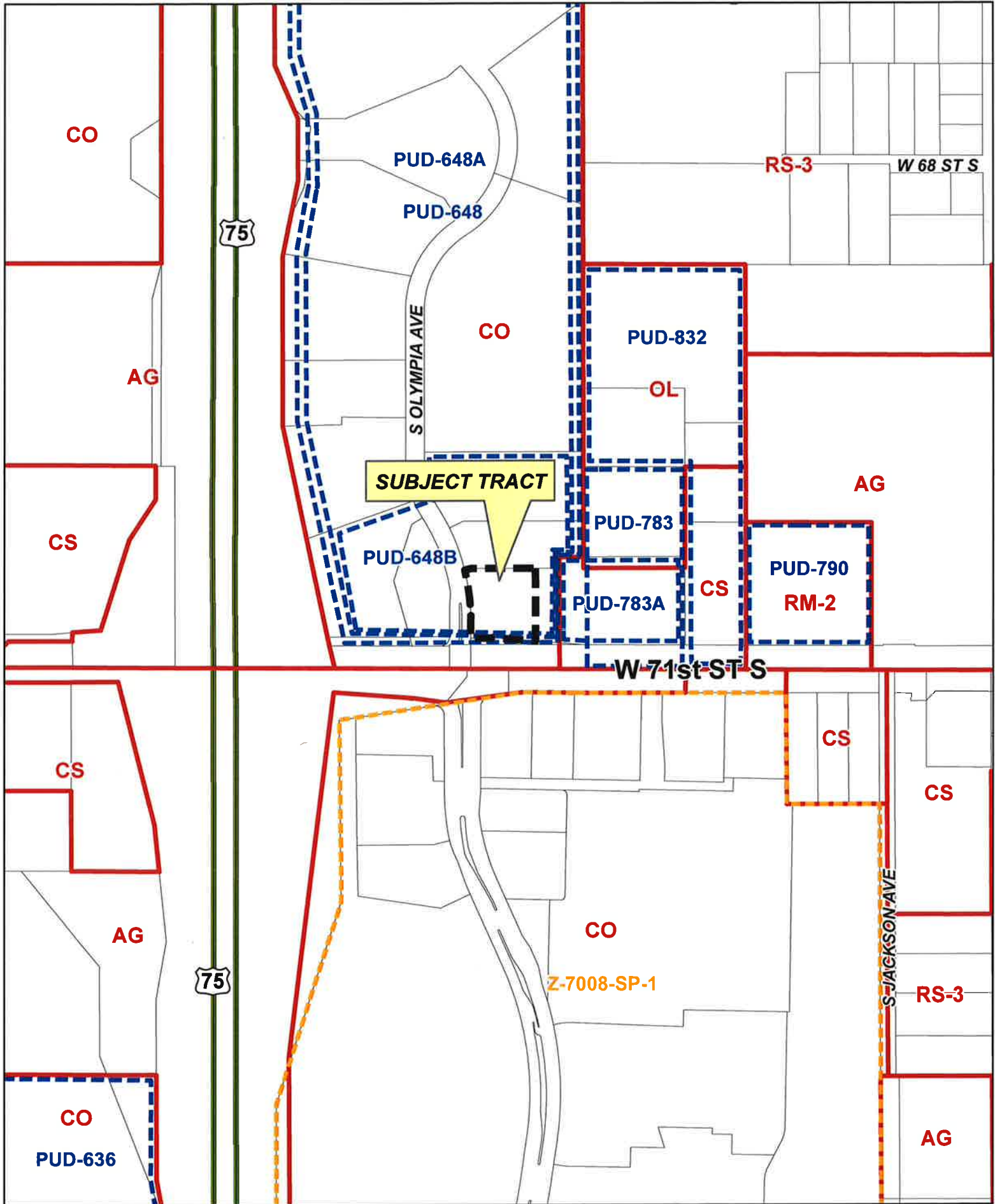
Staff has reviewed the request and determined:

- 1) The requested amendment does not represent a significant departure from the approved development standards in the PUD.
- 2) All remaining development standards defined in PUD-648-B and subsequent amendments shall remain in effect.

Exhibits included with staff recommendation:

INCOG zoning case map
INCOG aerial photo
INCOG aerial photo (enlarged)
Applicant Proposal Letter

With considerations listed above, staff recommends **approval** of the minor amendment request to revise number of lots, setbacks, floor area, lighting and signage.



PUD-648-B-2

18-12 02

3.3





75

W 68 ST S

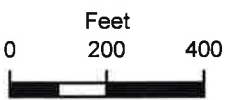
S OLYMPIA AVE



W 71st ST S

75

S JACKSON AVE



Subject Tract

PUD-648-B-2

Note: Graphic overlays may not precisely align with physical features on the ground.

18-12 02

3.4

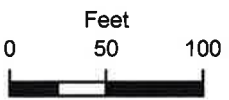
Aerial Photo Date: February 2018





S OLYMPIA AVE

W 71st ST S



Subject Tract

PUD-648-B-2

Note: Graphic overlays may not precisely align with physical features on the ground.

18-12 02

3.5

Aerial Photo Date: February 2018



February 20, 2019

Tulsa Metropolitan Area Planning Commission
2 West 2nd Street South, Suite 800
Tulsa, OK 74103

Re: PUD-648 – Minor Amendment for PUD Development Area E

Dear Chair and Commissioners:

We have been engaged to design and facilitate the development of two (2) pad sites at the northeast corner of 71st St. S. and Olympia Ave., Lot 1, Block 2, Less and Except the East 78' thereof, Olympia Medical Park II (Plat No. 6070). The site is zoned CO with PUD-648. Since Olympia Medical Park was first approved for PUD and the first phase plat filed of record in 2001, Tulsa Hills was developed and the character of area development has trended toward retail and restaurants.

This project consists of a dental clinic and fast-food restaurant with drive-through on two (2) proposed lots fronting 71st St. S. We have filed a Lot-Split application, LS-21191, which will not be processed until the PUD restriction to one (1) lot is lifted from PUD-648 Development Area E. A Plat Amendment (Doc. #2012032911) provides, "The number of lots shall be limited to one, provided however, additional lots may be permitted by an approved [PUD] minor amendment setting forth the allocation of floor area and approved lot split applications."

Further, Development Area E imposes a 77.5' building setback, 75' parking setback, 150' ground sign setback, and 70' lighting standard setback from the east line thereof, likely owing to AG zoning abutting at the time of PUD approval and initial site design. The shared access road is within the east side of the site and that portion of Development Area E east of the drive has been conveyed to and developed as part of a QuikTrip development. PUD Major Amendment PUD-648-C abandoned the PUD for that part conveyed to QuikTrip.

The PUD is interpreted as requiring all these setbacks from the new east boundary. The building and parking setbacks would prevent the development of two (2) pad sites. Plat Amendment (Doc. #2012032911) provides, in both instances, that the building and parking setbacks "shall be determined in accordance with an approved [PUD] minor amendment and detail site plan review."

The sign and lighting setbacks and other restrictions severely limit the viability of the site for commercial development. Similarly to the building and parking setbacks, Plat Amendment (Doc. #2012032911) provides that the sign and lighting standard setbacks and lighting standard heights, as pertain to "the remaining portion of Lot 1, Block 2 located within PUD 648 and amendments thereto shall be determined in accordance with an approved [PUD] minor amendment and" detail sign plan and detail site plan review.

This letter proposes a Minor Amendment to PUD-648 Development Area E, Lot 1, Block 2, Less and Except the East 78' thereof, Olympia Medical Park II, to:

1. Change "Maximum Number of Lots" to two (2)
2. Qualify "Maximum Building Floor Area" by asterisk text reading "* To be equally distributed by number of tracts if Development Area E is divided."
3. Change the "Minimum Building Setback," "From the east boundary of the development area" to 27 FT
4. Change the "minimum parking setbacks from the east boundary of the PUD" to 27 FT.
5. Remove the restriction to one (1) ground sign and other signage restrictions imposed with PUD-648-A and replace with text, "Signage shall comply with the signage standards of the City of Tulsa Zoning Code. Compliance with signage standards shall be determined at the time of Sign Permit issuance."
6. Remove the lighting restrictions imposed with PUD-648-A and replace with text, "Lighting shall comply with the lighting standards of the City of Tulsa Zoning Code. Compliance with lighting standards shall be determined at the time of Building Permit issuance."

No other changes are proposed by this Minor Amendment.

Please contact me at (918) 745-9929 or eenyart@tannerbaitshop.com if you have any questions or need additional information.

Respectfully,



Erik Enyart, AICP, CFM



Case Number: PUD-648-B-3
Minor Amendment

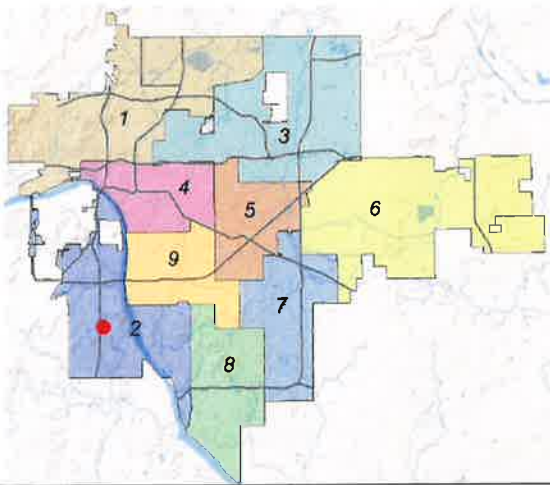
Hearing Date: April 3, 2019

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Darby Clarke

Property Owner: Olympia Land Development, LLC

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Concept summary: PUD minor amendment to revise wall signage standards.

Gross Land Area: 1.53 acres

Location: NE/c W 71st St S and S Olympia Ave

Development Area E

Zoning:
 Existing Zoning: CO/PUD-648-B
 Proposed Zoning: No Change

Comprehensive Plan:
 Land Use Map: Town Center
 Growth and Stability Map: Growth

Staff Recommendation:
 Staff recommends **approval**.

Staff Data:
 TRS: 8202

City Council District: 2
Councilor Name: Jeannie Cue

County Commission District: 2
Commissioner Name: Karen Keith

SECTION I: PUD-648-B-3 Minor Amendment

STAFF RECOMMENDATION

Amendment Request: Revise the development standards to allow wall signs on the east side of buildings and to increase the allowable square footage of wall signs to 1 ½ sf per linear foot of building wall to which attached.

Currently, the development standards restrict wall signage to the North, South and West faces of buildings within Development Area E. The applicant proposes to allow wall signs on the east face. To the east is the proposed dental clinic, which, if PUD-648-B-2 is approved, would lie to the east of the proposed restaurant site. To the east of Development Area E is a Quik Trip facility, so the inclusion of east facing wall signs would have a minimal impact. The applicant also proposes to increase the allowable wall signage area from 1 sf to 1 ½ sf per linear foot of building wall to which attached. Commercially zoned sites within the City of Tulsa are typically limited to 3 sf per linear foot of building wall to which attached, so the applicant's proposal would be ½ of what would be allowed on a commercially zoned property, without overlays.

The proposed revisions to the Development Standards are listed on that attached letter from Tanner Consulting, giving an overview of the proposal and the revised standards.

Staff Comment: *This request can be considered a Minor Amendment as outlined by Section 30.010.1.2.c(12) of the City of Tulsa Zoning Code.*

"Modifications to approved signage, provided the size, location, number and character (type) of signs is not substantially altered."

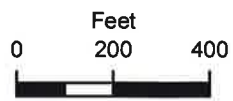
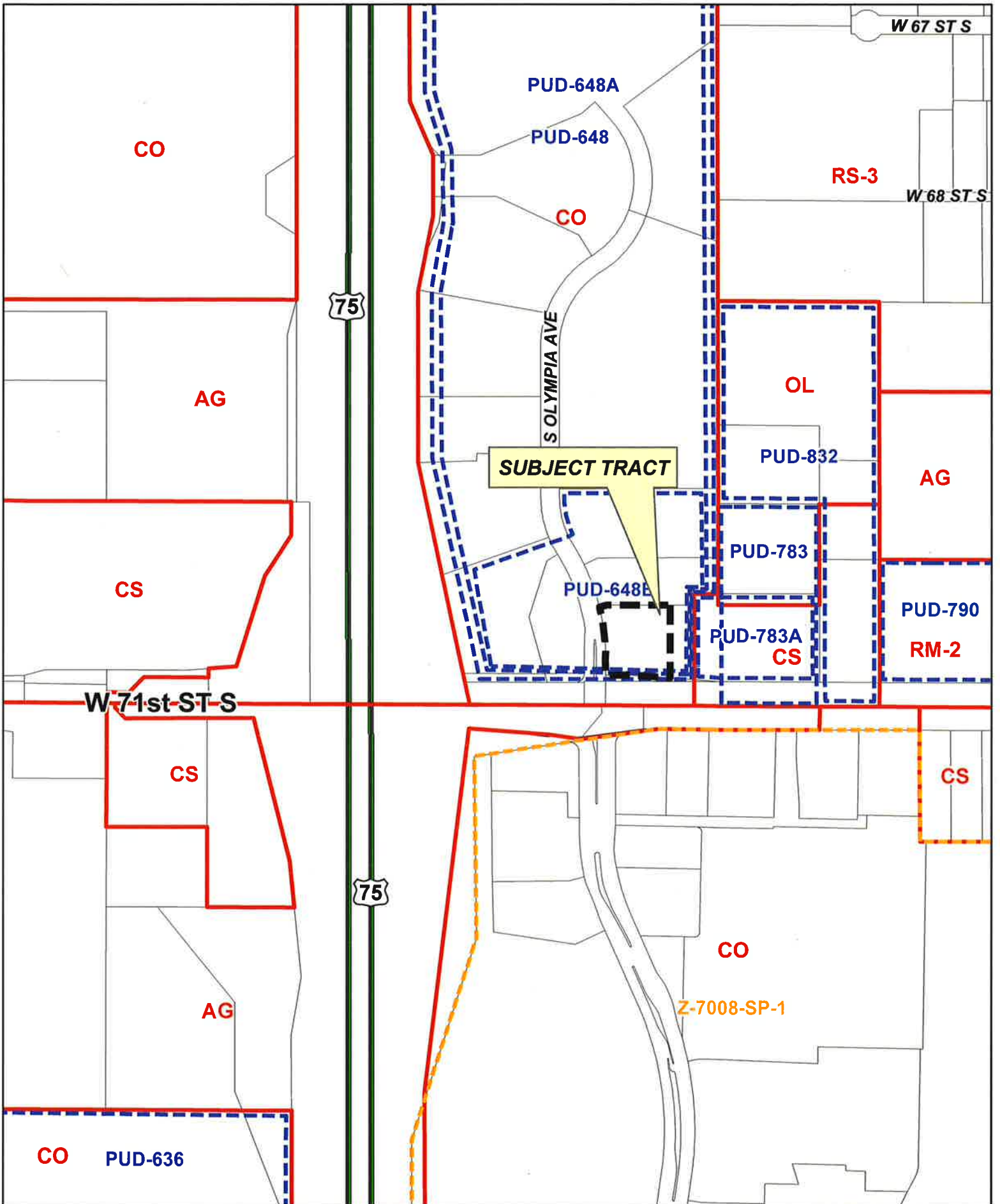
Staff has reviewed the request and determined:

- 1) The requested amendment does not represent a significant departure from the approved development standards in the PUD.
- 2) All remaining development standards defined in PUD-648-B and subsequent amendments shall remain in effect.

Exhibits included with staff recommendation:

INCOG zoning case map
INCOG aerial photo
INCOG aerial photo (enlarged)
Applicant Proposal Letter
Applicant Proposed Elevations (signage)

With considerations listed above, staff recommends **approval** of the minor amendment request to revise wall signage standards.



PUD-648-B-3

18-12 02

4.3



W 67 ST S

W 68 ST S

75

S OLYMPIA AVE

W 71st ST S

75



Subject Tract

PUD-648-B-3

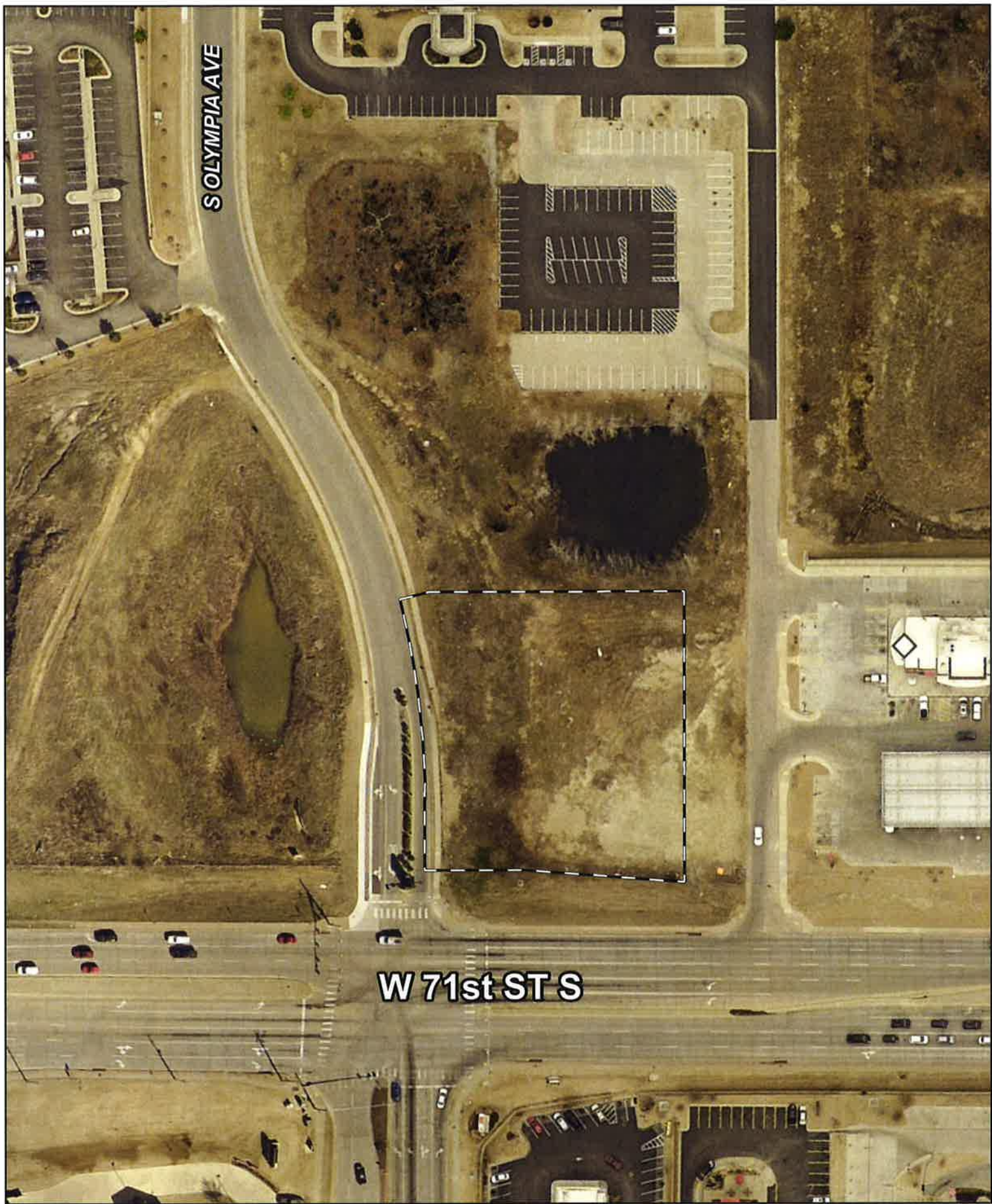
Note: Graphic overlays may not precisely align with physical features on the ground.

18-12 02

Aerial Photo Date: February 2018

4.4





S OLYMPIA AVE

W 71st ST S

PUD-648-B-3

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018



Subject Tract

18-12 02

4.5

**Raising Cane's Store 488
West 71st Street & South Olympia
Tulsa, OK**

Date: February 26, 2019

From: Darby Clarke, AIA
6767 Perkins Road
Baton Rouge, LA 70808
225-831-2160 (direct)
Darby.Clarke@csrsinc.com

To: Tulsa Metropolitan Area Planning Commission
2 West 2nd Street South, Suite 800
Tulsa, OK 74103

Re: PUD-648 – Minor Amendment for PUD Development Area E

We have been engaged to design and facilitate the construction of a Raising Cane's Chicken Fingers Restaurant with Drive-thru Service on Development Area E at the northeast corner of 71st St. S. and Olympia Ave., Lot 1, Block 2, Less and Except the East 78' thereof, Olympia Medical Park II (Plat No. 6070). The site is zoned CO with PUD-648. There is a separate request for a minor amendment to this PUD to split the lot into two separate lots within this development area.

We are proposing to increase our allowable signage on the East and West sides of the building. We propose to add (1) 30 square foot "Raising Cane's Chicken Fingers" sign over the side entry, and to increase our maximum area on the West side from 94 square feet to 140 square feet to use our standard hand-painted mural size. We have included a signage exhibit to indicate the proposed modifications.

This letter proposes a Minor Amendment to PUD-648 Development Area E, Lot 1, Block 2, Less and Except the East 78' thereof, Olympia Medical Park II, to:

1. The current PUD agreement does not allow signage on the East side of our building. We would like to change this to allow for our standard Raising Cane's signage over the building entrance on the east side (30sf).
2. The current PUD agreement limits signage to 1 square foot per linear foot of building. We would like to increase our signage limit to 1.5 square foot per linear foot of building along the West side only to allow us to include our typical hand painted wall mural.

No other changes are proposed by this Minor Amendment.

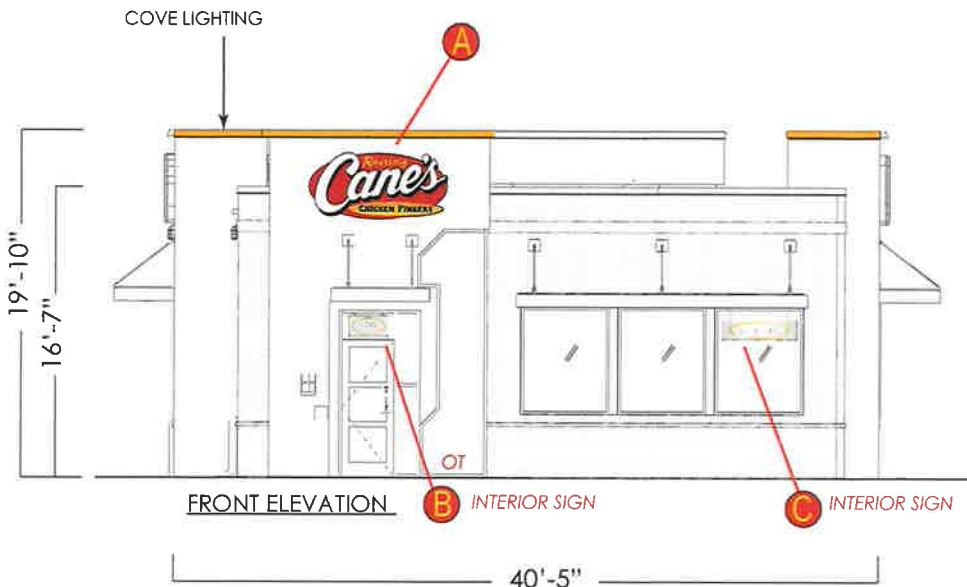
Thank you again for your time and consideration on this matter, and please don't hesitate to contact me with any questions or concerns.

Sincerely,

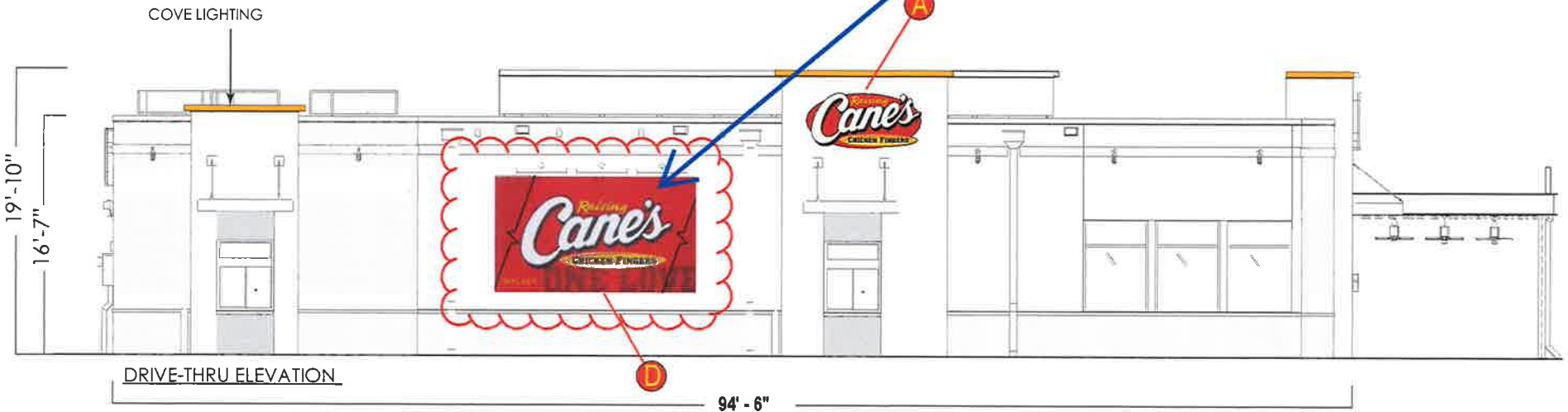


Darby Clarke, Architect

ELEVATIONS



QTY.	CODE	DESCRIPTION
3	WS-8FT	4x8 Wall Sign
2	ONS	Open Sign
1	CFNS	Chicken Fingers Neon Sign
1	OLH	One Love Heart
1	DTMB	DT Menuboard & Awning
1	PSB	Presell Board
1	PYLON	Pylon



our standard painted wall mural is 46 sf larger than allowed by PUD (1sf per lf of building)

Scale: 3/32"=1'

47

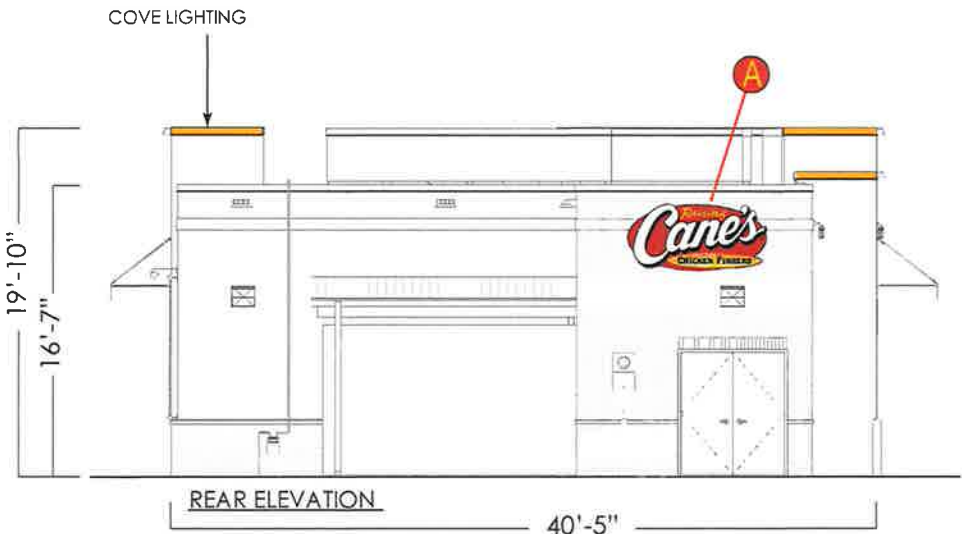


Location: Tulsa, OK	AGI Rep: G.W.
Site ID: RC0488	AGI PM: Megan Wiggins
Date: 01/15/2019	Drawn by: M. Folden

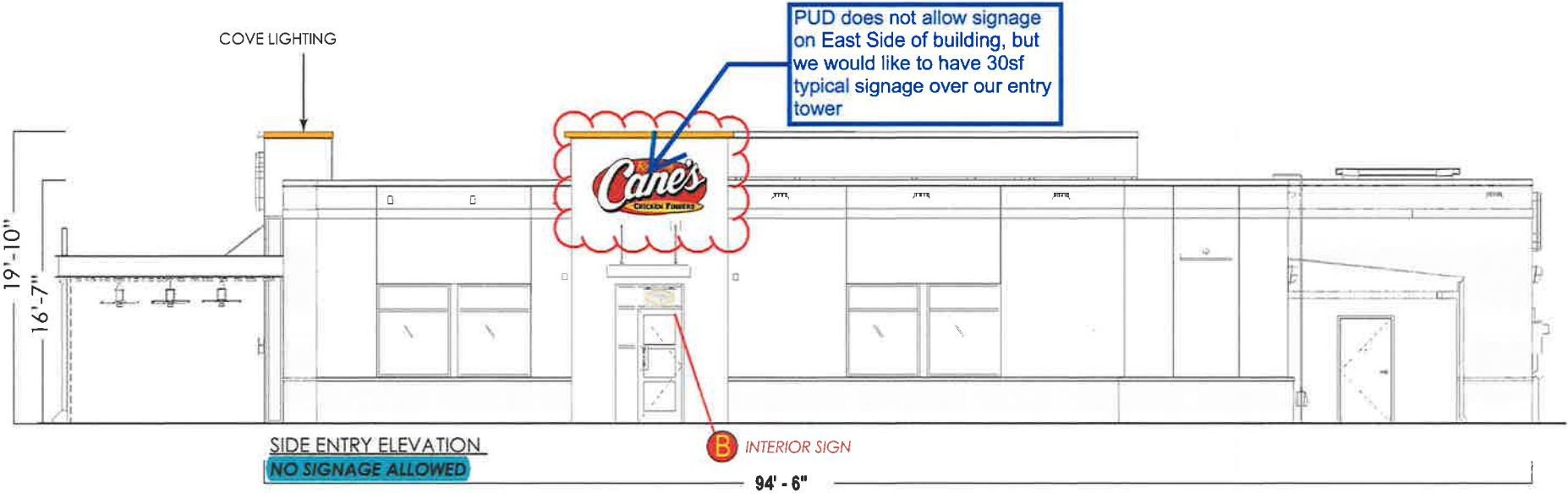
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ELEVATIONS



QTY.	CODE	DESCRIPTION
3	WS-8FT	4x8 Wall Sign
2	ONS	Open Sign
1	CFNS	Chicken Fingers Neon Sign
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1	DTMB	DT Menuboard & Awning
1	PSB	Presell Board
1	PYLON	Pylon



Scale: 3/32"=1'

4.8



Location: Tulsa, OK	AGI Rep: G.W.
Site ID: RC0488	AGI PM: Megan Wiggins
Date: 01/15/2019	Drawn by: M. Folden

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Item

Public hearing approving new capital improvement projects for the Capital Improvement Plan, Fiscal Year 2020 – 2014.

Background

The Capital Improvement Plan (CIP), containing recommended capital projects for the next five years, is a tool to implement the Comprehensive Plan. State Statutes provide that once a comprehensive plan has been adopted, no capital project shall be constructed or authorized without approval of its location, character and extent by the Planning Commission.

City departments generated the list of new capital improvements in the plan. The City of Tulsa prepares an annual Capital Improvement Plan that is published with the fiscal year budget. The Planning Commission generally reviews any new additions proposed for inclusion in the proposed capital plan before the draft budget and capital plan are published.

Staff Analysis

TMAPC staff reviewed the new proposed Capital Improvement Plan projects for consistency with the City of Tulsa's Comprehensive Plan. In general, the improvements listed are consistent with the Comprehensive Plan.

A new CIP projects summary is attached. Below is a summarized list of those items, including: the name of requesting Department, the project name, the item number(s) that correspond with the attached chart, and staff comments regarding relationship and consistency with the Comprehensive Plan. Recommendations that are Small Area Plan or Master Plan recommendations are identified with an asterisk (*).

- **Gilcrease Museum**

- 1. Windows

Staff comments: *These proposed projects represent improvements to an existing museum in the City of Tulsa and are consistent with the Plan's focus on enhancing education and improving Tulsan's quality of life.*

- **Information Technology**

- 2. One Technology Center, Compstat, Police Courts, Convention Center
- 3. Roofing replacement Telecommunications Department

Staff comments: *These proposed projects are related to rehabilitation and system upkeep and are generally consistent with the Comprehensive Plan's direction on infrastructure maintenance.*

- **Metropolitan Tulsa Transit Authority**

- 4. 11th Street BRT Completion*
- 5. Downtown Transit Center*
- 6. Security Improvements

Staff comments: *These projects involve maintaining and enhancing the existing transportation system through strategic investments and promoting multiple transportation choices for citizens. The 11th Street BRT completion is consistent with Transportation Priority 1 and the Kendall-Whittier Sector Plan. The Downtown Transit Center is consistent with the Arena District Master Plan.*

- *Transportation Policy 1: Provide a wide range of reliable transportation options so every Tulsan can efficiently get where they want to go*
 - *Goal 1 – All Tulsans have a variety of transportation options for getting around the city. Policies to support this goal include:*

- Policy 1.1: Coordinate closely with MTTA to provide for transit-supportive enhancements in the high frequency bus, bus rapid transit, streetcar, light rail and commuter rail corridors. (p. TR-36)
- Kendall-Whittier Sector Plan – Goal 7: Creating a multi-modal network
 - 7.10: Work closely with Tulsa Transit to implement BRT service on 11th Street (p. 62)
- Arena District Master Plan: Signature Project Public-Private Investment
 - Transit Center block redevelopment and Transit Center integration (p. 94)
- **Performing Arts Center**
 7. TPAC Hot Water Steam Repair Upgrade

Staff comments: The proposed improvements to the Performing Arts Center (PAC) is consistent with the Comprehensive Plan's understanding of the downtown core as Tulsa's "...most intense regional center of commerce, housing, culture and entertainment." (p. LU-31)
- **Parks**
 8. Construct 2 dog parks
 9. Internal looped park walking/biking trails
 10. Upgrade, add, or renovate outdoor park play amenities
 11. Baseball/softball sport fields rehabilitation
 12. Hill Park improvements
 13. Mohawk Park rehabilitation and renovation
 14. Golf: Mohawk Park – Low water crossing #17 Pecan Valley
 15. Mohawk Park – Excavate Pecan Valley and build berm behind Woodbine to prevent flooding tee boxes
 16. Mohawk Park – Low water crossing #17 Pecan Valley
 17. Children's Zoo Phase 1
 18. Tropical American Rainforest (TARF) HVAC

Staff comments: Based on the below and similar policies regarding parks, the proposed projects are in conformance with the Tulsa Comprehensive Plan and multiple small area plans.

 - Parks, Trails and Open Space – Priority 5: Improve Access and Quality of Parks and Open Space
 - Goal 14: Parks and recreational facilities are updated to address changing needs and desires.
 - Policy 14.1: Add comfort and convenience features to parks.
 - Policy 14.2: Identify parks components that need to be updated or replaced and develop a schedule, budget and methodology to complete improvements.
 - Policy 14.4: Identify Parks throughout the City for upgrade and develop an action plan to accomplish upgrades. (p. PA-29)
- **Police**
 19. Eurocopter
 20. Jail video data retention
 21. Police heliport
 22. SID building

Staff comments: The projects will provide the City of Tulsa Police Department with updated technology and improved facilities and equipment. Although no specific guidance is provided in the Comprehensive Plan, the projects will contribute to public safety and maintenance of existing City facilities.

- **Public Works: Facilities**

- 23. Police Courts building modernization

Staff comments: The proposed Police Courts building project focuses on extensive rehabilitation and upgrades of existing facilities. Although no specific guidance is provided in the Comprehensive Plan, the project will contribute to public safety and maintenance of existing City facilities.

- **Public Works: Flood Control**

- 24. 43rd and Sheridan Drainage Improvements – Phase 1
- 25. Fontana Shopping Center detention facility
- 26. Hager Creek storm sewer relief line*
- 27. Springdale detention/ wetland facility

Staff comments: The above projects are generally maintenance/improvements that will contribute to flood control. One of the Guiding Principles for Economic Development is "The City invests in the critical infrastructure necessary to develop a robust and diversified economy." (p. 6) The projects are generally consistent with the Comprehensive Plan's direction on infrastructure. The Hager Creek storm sewer relief line project is consistent with the West Highlands/Tulsa Hills Small Area Plan:

- Goal #6: Improve flood control
 - Make necessary road and drainage improvements to prevent closure of area around the 81st Street and Elwood Avenue intersection during rain events. Once completed, re-evaluate Park and Open Space land-use designation for parcels within that flood plain. Assure that any development in those parcels does not exacerbate flooding issues. (p. 86)

- **Public Works: Sewer**

- 28. 21st and Riverside lift station improvement – Phase 2
- 29. Cherry Creek FEB Concrete/ Structural repair
- 30. Coal Creek 103N parallel interceptor
- 31. Coal Creek rehabilitation
- 32. Force main condition assessment
- 33. Haikey Creek interceptor rehab
- 34. Interceptor condition assessment
- 35. Mingo FEB concrete/ structural repair
- 36. Northside FEB concrete/ structural repair*
- 37. Northside interceptor improvements*
- 38. Northside WWTP 13.2kv (Main) switchgear*
- 39. SE Basin west leg interceptor rehab
- 40. Upper Joe Creek – East branch
- 41. Upper Joe Creek – West branch
- 42. West Bank lift station improvements

Staff comments: The above projects are generally sewer maintenance/improvements. One of the Guiding Principles for Economic Development is "The City invests in the critical infrastructure necessary to develop a robust and diversified economy." (p. 6) The projects are generally consistent with the Comprehensive Plan's direction on infrastructure. The Northside sewer projects are consistent with the East Tulsa Neighborhood Implementation Plans (p. A. 47-48, A. 55-56).

- **Public Works: Streets**

- 43. 129th E. Ave. – 36th St. N. to 46th St. N.
- 44. 36th St. N. and 129th E. Ave. intersection improvements
- 45. Citywide trails system improvements*

Staff comments: The above projects are primarily maintenance/improvements of streets and generally consistent with the Comprehensive Plan's direction on infrastructure.



Project #44 includes the construction of sidewalks, which is widely supported throughout the Comprehensive Plan. Project #45 includes trail improvements which is widely supported throughout the comprehensive plan and small area plans through the city.

- **Transportation Priority 3: Ensure that transportation investments enhance the land uses they serve**
 - **Goal 7 – Transportation facilities fit their physical setting and preserve scenic, aesthetic, historic, and environmental resources, while maintaining safety and mobility. Policies to support this goal include:**
 - **Policy 7.1: Enhance transportation Tulsa's rights-of-ways so they both serve as great public places and promote multi-modal travel. (p. TR-38)**
 - **Policy 7.3: Institute a context sensitive solutions approach to transportation infrastructure by recognizing that flexibility in project development and design is necessary to balance safety, mobility, economic development, and environmental issues for new and redesigned urban transportation facilities. (p. TR-39)**
- **Transportation Priority 4: Provide multiple transportation choices to all Tulsans**
 - **Goal 13 – Pedestrians have easy access to jobs, shopping and recreation. Policies to support this goal include:**
 - **Policy 13.4: Ensure the continued development of sidewalk improvements with other improvements in major arterial corridors where opportunities to enhance the pedestrian environment exist. (p. TR-41)**
- **Parks, Trails, and Open Space Priority 2: Strengthen connections to the Arkansas River**
 - **Goal 3 – Maintain and strong connection between the city and the Arkansas River. Policies to support this goal include:**
 - **Policy 3.2: Expand, maintain, and enhance an interconnected system of parks, trails, and open spaces along the Arkansas River and nearby watersheds (p. PA-24)**
- **Public Works: Water**
 46. 23rd and Jackson site improvements
 47. AB Jewell Filter Gallery Pipe and concrete replacement
 48. AB Jewell site improvements
 49. HSPS power resilience evaluation
 50. Lead service line inventory
 51. Raw water flowline Oologah stabilization repair
 52. Raw water flowline repairs Oologah

Staff comments: The above projects are generally water maintenance/improvements. One of the Guiding Principles for Economic Development is "The City invests in the critical infrastructure necessary to develop a robust and diversified economy." (p. 6) The projects are generally consistent with the Comprehensive Plan's direction on infrastructure.

- **River Parks Authority**

53. Concrete plant site acquisition
54. Trail expansion and land acquisition – Cousins Park to Sheridan Road
55. Turkey Mountain Urban Wilderness Improvements*

Staff comments: The proposed projects improve recreation and trail access in Tulsa, which is consistent with the Comprehensive Plan. Project #55 is also consistent with the West Highland/Tulsa Hills Small Area Plan.

- **Parks, Trails, and Open Space Priority 2: Strengthen connections to the Arkansas River**



- Goal 3 – Maintain and strong connection between the city and the Arkansas River.
- Goal 4 – Promote the Arkansas River as a centerpiece of life in Tulsa. (p. PA-24)
- Goal 5 – Improve recreational opportunities along the Arkansas River. (p. PA-25)
- West Highlands/Tulsa Hills Small Area Plan – Goal 9: Develop the key industry clusters identified in the 2010 Plan within and near Plan area
 - Acknowledge, strengthen and support the vicinity's regional outdoor amenities, namely Turkey Mountain, Page Belcher Golf Course and other golf courses. Coordinate with future Turkey Mountain Urban Wilderness Area master plan. (p. 87)

• **Planning**

- 56. Destination Districts
- 57. Unity Heritage Gateways*
- 58. Charles Page Blvd reconfiguration*
- 59. Arena District Master Plan implementation – Civic Center*
- 60. Crosbie Heights underpass improvements*
- 61. WATCO Railroad relocation
- 62. Memorialize Black Wall Street*
- 63. Launch "City Hall on the Go"
- 64. Neighborhood Action Plan development and implementation
- 65. Healthy Places Initiative
- 66. Establish an Innovation District and Prototyping Zone

Staff comments: The above projects relate to land use and economic development and are consistent with the Comprehensive Plan and small area plans. Although not an adopted plan, projects #62, 63, 64, 65, and 66 are all strategies identified in the Resilient Tulsa Strategy.

- Land Use Priority 1: Make land use decisions that contribute to Tulsa's fiscal stability and move the city towards the citizen's vision
 - Goal 3 – New development is consistent with the planitulsa building blocks. Policies to support this goal include:
 - Policy 3.4: Allocate City funds and fund other funding to enhance pedestrian amenities on streets in priority areas. (p. LU-79)
 - Land Use Priority 2: Put procedures, processes and tools in place to effectively and equitably implement planitulsa.
 - Goal 5 – Tulsa's regulatory programs support desired growth, economic development, housing, a variety of transportation modes and quality of life priorities. Policies to support this goal include:
 - Policy 5.2: Establish clear and objective standards for land use planning decisions and implementation strategies.
 - Policy 5.3: Create a robust and meaningful public involvement process that emphasizes long-term consensus rather than project-by-project evaluation and approval (Small Area Plan process).
 - Policy 5.4: Modify the existing small area planning process to support the vision and policies. (p. LU-80-81)
 - Goal 7 – Tulsa citizens, stakeholders, and interest groups all have easy access to development information and planitulsa's vision, policy plan and maps, strategic implementation plan, monitoring program, and small area plans (p. LU-82)
 - Goal 8 – Underutilized land in areas of growth is revitalized through targeted infill and reinvestment (p. LU-83)



- Goal 10 – The life expectancy levels in Tulsa North are consistent with the regional averages. (p. LU-84)
 - Economic Development Priority 1: Spur and support entrepreneurial ventures and small businesses
 - Goal 1 – Businesses have easy access to full range of economic development assistance.
 - Goal 2 – Entrepreneurs have thriving businesses and contribute to the local economy. (p. ED-17)
 - Economic Development Priority 4: Support aggregation of the employers downtown, neighborhood and regional centers, and existing industrial areas
 - Goal 5 – New development supports vibrant, sustainable, transit-oriented development.
 - Goal 6 – Downtown Tulsa is the core of the regional economy. (p. ED-19)
 - Unity Heritage Neighborhoods Plan
 - Goal 4: Capitalize on OSU-Tulsa, Langston University Tulsa, and proximity to Downtown to spur redevelopment of the southern edge of the Unity Heritage area.
 - Improve underpasses at Main Street, Martin Luther King Jr. Boulevard, Detroit Avenue, and Greenwood Avenue as priority connections to Downtown Tulsa through enhanced signage, lighting, and urban design. (p. 52)
 - Goal 6: Celebrate the area's history and strengthen its character. (p. 55)
 - Crosbie Heights Small Area Plan
 - Goal 2 – Promote development of complete neighborhoods, defined in the Comprehensive Plan (p. LU-18) as "neighborhoods that blend...amenities, connectivity, and housing options together."
 - 2.1: Implement planitulsa's Complete Streets policy for the Charles Page Boulevard multi-modal corridor
 - 2.2: Provide safe connections via appropriate sidewalk and roadway investments within Crosbie Heights and from Crosbie Heights to adjacent neighborhoods north of Highway 412 and to downtown Tulsa (p. 9)
 - Goal 13 – Increase transportation safety for all modes of travel and all types of travelers
 - 13.2: Construct multi-modal travel improvements along Charles Page Boulevard, including a "road diet" that allows for automobile travel, protected bike lanes in both directions, and sidewalks (p. 12)
 - Goal 15 – Use planning and design solutions to enhance public safety
 - 15.1: Develop a Streetscape Implementation Plan to prioritize public funding to restore/replace or install streetlights, enhance underpasses, and other streetscape features within Crosbie Heights (p. 13)
 - Arena District Master Plan: Renovate the Cox Business Center and Civic Center Plaza activation (p. 136)

Staff recommendation

Approve based on the finding that the new capital improvement projects for the Capital Improvement Plan, FY 2020-2024 are in conformance with the Tulsa Comprehensive Plan.

Attachment(s)

FY 20-24 TMAPC New CIP Projects (table)

**FY 20-24
TMAPC NEW PROJECTS**

	Project Title	Category	Requesting Dept	Project Purpose	Dept Priority	Maintenance of Existing Facility
1	Windows	-----	Gilcrease	Window System Replacement	High	YES
2	One Technology Center, Compstat, Police Courts, Convention Center	Facilities	Information Technology	To upgrade the Building Automation system (Metasys) in the project facilities. Replacing discontinued LON controllers, BACnet Field Equipment Controllers (FEC's) and Input Output Modules (IOM's) modifying the Metasys database to add new controls, programs and graphics to improve over all system function and reliability.	High	YES
3	Roofing replacement Telecommunications Department	Facilities	Information Technology	replacement of dilapidated roofing systems on the following facilities Electronics Shop, Telecommunications Garage	High	YES
4	11th Street BRT Completion	-----	MTTA	Provide funding to complete 11th Street BRT.		YES
5	Downtown Transit Center	-----	MTTA	Current Facilities are no longer adequate for the various service expansions and facility is requiring refurbishment	High	NO
6	Security Improvements	-----	MTTA	Replacement of current security technologies that have met their useful life requirements and provide enhanced security technologies for all of MTTA facilities	Med	YES
7	TPAC HOT WATER STEAM REPAIR UPGRADE	Facilities	PAC	Improve the Steam and Domestic water distribution to be more efficient and effective. Replace the Domestic Hot Water/Heating Hot Water systems heat exchanger with a modern on demand exchanger and re-plumb the DHW/HHW and steam reduction systems to allow for seasonal isolation and more effective and efficient use and energy conservation.	High	YES
8	Construct 2 Dog Parks	-----	Parks	Add 2 additional dog parks. Locations to be determined at time of fundings. Included are shade structures, water stations, sidewalks, fencing, dog park specific amenities, and additional parking if needed.	9	NO
9	Internal Looped Park Walking/Biking Trails	-----	Parks	The looped walking/biking trails have deteriorated over time. In some cases, it has become a health and safety issue.	6	YES
10	Upgrade, Add, or Renovate outdoor park play amenities.	-----	Parks	Replace, Add, and/or upgrade aging and falling playgrounds, water playgrounds and adult workout infrastructure at multiple sites. Replacements will include 2 themed playgrounds (\$1,100,000/each), 10 non-themed playgrounds (\$355k/each); 6-7 water playgrounds. Sidewalks and shelters will be added as needed.	1	YES
11	Baseball/Softball Sport Fields Rehabilitation	Facilities	Parks	Tulsa Parks will prioritize improvements at: Savage: Lighting for new fields #7,8,9, and 10. Add Shade cloth for bleachers Repair bathroom floor Repair stairwell wall Add maintenance building. Carl Smith: Remove replace original fields 1, 2, 3, 4. including but not limited to fencing, lighting, irrigation, dugouts and sod. Replace or repair retaining walls. Replace restroom/concession building(s). Renovate and restripe existing parking lot. Replace existing walks and storm structures as needed...replace/renovate bleachers, shade structures, backstops. Enlarge and Renovate existing lagoon.	14	YES
12	Hill Park Improvements	Facilities	Parks	Add covered multi-use sports courts, trail, outdoor adult workout facility, themed playground, shelters, benches, water fountain and shade structures. Renovate and possibly expand existing parking lot and drives.	8	YES
13	Mohawk Park rehabilitation and renovation	Facilities	Parks	Repair and renovate existing equestrian trails and facilities; expand bike and pedestrian trails. Re-develop recreational opportunities on water ways in Mohawk. Add pier at Lake Sherry to promote passive activities within the boundaries of Oxley. Add speed humps/speed control devices where applicable, evaluate and repair roadways and existing parking Evaluate and renovate existing shelters, add shelters where needed. Assess and repair as needed historic WPA amenities.	5	YES
14	Golf: Mohawk Park - Low Water Crossing #17 Pecan Valley	Flood Control	Parks	Low water crossing here is in need of maintenance repairs. Surface has badly eroded.	1	YES
15	Mohawk Park - Excavate Pecan Valley and build berm behind Woodbine to prevent flooding tee boxes.	Flood Control	Parks	Excavate Pecan Valley and build berm behind Woodbine to prevent flooding tee boxes.	21	YES
16	Mohawk Park - Low Water Crossing #12 Pecan Valley	Flood Control	Parks	Low water crossing here is in need of maintenance repairs. Approach to crossing is now gravel and mud. Drainage pipe has been completely compromised under structure.	3	YES

**FY 20-24
TMAPC NEW PROJECTS**

	Project Title	Category	Requesting Dept	Project Purpose	Dept Priority	Maintenance of Existing Facility
17	Children's Zoo Phase 1	Zoo	Parks	The Tulsa Zoo's current children's zoo has outdated infrastructure starting at the entry bridge into the area. The amphitheater, lack of updated animal exhibits, and engaging play opportunities for children must be addressed. In Phase 1 of the Children's Zoo, the zoo will move the free educational program, Nature Exchange to the center of the zoo. Two new animal exhibits will also replace failing infrastructure in this area. The giant otter exhibit and the giant anteater exhibit will be two new, engaging species for our guests at the Tulsa Zoo. These important species are phasing declining populations in the wild due to habitat disturbances.	High	YES
18	Tropical American Rainforest (TARF) HVAC	Zoo	Parks	The Tropical American Rainforest was completed in 1998 and the HVAC system is original to this exhibit. These HVAC units are considered the life support system for the animal and plant collections that are displayed in this large, multi-story "greenhouse". This system maintains the necessary temperatures to ensure the health and well-being of the animal collection and proper temperatures for plants as well as providing for the comfort of guests and staff. The HVAC system depends on four compressors, and these compressors have exceeded their life expectancy and need to be replaced. Replacing the existing compressors with new screw compressors eliminates the dependability and overheating issues which in turns provides the appropriate temperatures for animal and plant collections and for guests and staff.	High	YES
19	Eurocopter	-----	Police	Replace 2013 Bell Helicopter and FLIR	1	YES
20	Jail Video Data Retention	-----	Police	Retain jail video for 26 months for litigation purposes. Currently we are only able to keep 6 months of video (at best) depending on what is being retained. We need to protect the City of Tulsa during any litigation brought from incidents occurring in the lock up facility.	3	YES
21	Police Heliport	Facilities	Police	Build police heliport for two helicopters	2	NO
22	SID Building	Facilities	Police	The Special Investigations Division of the Tulsa Police Department is tasked with the investigation of major narcotic cases, vice investigations, and gang related activity occurring or impacting the City of Tulsa and its citizens. This proposed building will house the personnel responsible with those investigations along with the staff that support in them, consisting of primarily office and conference room space. This building will be the location were the police department conducts phone intercepts and other cell phone related analysis, which law requires is conducted in a specially equipped room. Additionally, this building will need a fabrication laboratory and work shop for designing and fabricating equipment used in undercover operations. There will also be a healthy and wellness room to be used by the personnel assigned to the division.	9	NO
23	Police Courts Building Modernization	Facilities	Public Works	Upgrade the following systems within the Police Courts Building: Roof, HVAC, Plumbing, Fire Alarm and Elevators. The Honeywell Fire Alarm system in this building is outside of it's life cycle and due to that reason, parts for repairs are no longer available. System FS90 panels need to be upgraded to the XLS3000 panels, existing front end software, windows software need to be upgraded to the latest version, upgrade capabilities of the system to allow for individual point annunciation and identification, provide First Responder annunciator at facility point of entry, provide voice messaging for fire notifications, weather alerts, and active shooter warnings. These upgrades will improve Fire safety through out the facility and the safety of the occupants and our first responders. Upgrading the HVAC equipment and controls will improve control of the built environment and reduce the operating cost for the facility by as much as 30%. It will also reduce the potential for a catastrophic failure, which could make areas of the facility unusable. The elevators are original to the building. Components of the system are obsolete and for that reason the elevators are no longer reliable and should be modernized. A failure of any of these units could leave the building without elevator service for and extended period of time.	high	YES

**FY 20-24
TMAPC NEW PROJECTS**

Project Title	Category	Requesting Dept	Project Purpose	Dept Priority	Maintenance of Existing Facility
24 43rd and Sheridan Drainage Improvements - Phase I	Flood Control	Public Works	The existing storm sewer is inadequate during a 2-year event causing water to overtop Sheridan and flood downstream properties.	High	YES
25 Fontana Shopping Center Detention Facility	Flood Control	Public Works	Underground storm water detention facility to reduce flooded businesses in Fontana Shopping Center.	High	YES
26 Hager Creek Storm Sewer Relief Line	Flood Control	Public Works	Alleviate flooding of 81st Street and the ponding water in Hager Creek.	High	YES
27 Springdale Detention/Wetland Facility	Flood Control	Public Works	Alleviate flooding of residential structures and the overtopping of Pine Street.	High	YES
28 21st & Riverside Lift Station Improvements - Phase 2	Sewer	Public Works	Provide improved wet weather performance of the lift station. Phase 1 will be performed under the Area-wide lift station program and focus on improvements to the slide gate, along with electrical and controls, and also include complete evaluation of lift station to generate final scope for Phase 2. Phase 2 will focus on design and construction of improvements to the 48-inch hydraulic influent isolation gate and control unit to limit wet weather flows to the wet well. Hydraulic control unit also needs to be moved from lower level to upper level to protect unit and allow operator access during a dry well flood event. Pumps 1 & 2 are also in poor condition and will not operate simultaneously with Pumps 3, 4 and 5. Scope will address current pump cavitation, possible pump replacement, and wet well volume for optimal performance.		YES
29 Cherry Creek FEB Concrete/Structural Repair	Sewer	Public Works	A Condition (Physical) Assessment of Southside FEB was authorized by ES 2017-04 Notice to Proceed dated January 18, 2018 to identify and quantify basin and structural system repairs of concrete and asphalt surface improvements to schedule funding sequence to produce bid plans and specifications necessary to competitively bid said improvements to restore Southside FEB to its original condition. Condition Assessment recommendations, conclusions, and costs contained in 2018 Keithline Engineering Phase 1 Condition Assessment Report - Flow Equalization Basin Joint and Crack Repairs, ES 2017-04. Electrical, conveyance, support, and mechanical condition assessment were not included. Other system assessments and parameter improvements were not part of this project.		YES
30 Coal Creek 103N Parallel Interceptor	Sewer	Public Works	The Coal Creek Interceptor begins upstream at Manholes 113-0092 & 113-0086 and ends downstream at Manholes 103-0016 & 103-0027. 17,036 LF of parallel 24- to 36-inch reinforced concrete pipe (RCP) interceptor was assessed as part of this project. The scope is to line 325 LF of 24-inch and 36-inch RCP pipe with cured in place pipe (CIPP), or other City approved material; construct 900 LF of new 48-inch pipe, one (1) junction box & two (2) manholes due to a hydraulic bottle neck; and also rehabilitate two (2) manhole structures. It is anticipated that design and construction will occur in a single phase.		YES
31 Coal Creek Rehabilitation	Sewer	Public Works	As a follow-up to planned capacity enhancements, provide I/I abatement for Coal Creek drainage basin in the 30-N, 93-N, 16-N, 99-N and 94-N maintenance areas. The project includes, pre- and post-rehab flow monitoring, hydraulic modeling, SSES, design, and construction. Existing, defective pipes in the area will be replaced or rehabilitated with construction that may be performed using pipe bursting, lining, or open cut as all are acceptable installation methods. Manhole defects will also be rehabilitated along with private sector defect recommendations provided to remove rain derived inflow and infiltration.		YES
32 Force Main Condition Assessment	Sewer	Public Works	The scope of this BCE is to develop an asset management plan in FY19 to perform future, annual condition assessment on collection system force mains based on criticality. Over 60 miles of force main are currently operated and maintained by SOM and WPC.		YES
33 Haikey Creek Interceptor Rehab	Sewer	Public Works	The Haikey Creek Interceptor begins upstream along E. 87th Street east of S. Memorial Drive and ends downstream at the Haikey Creek Lift Station in the Park near E. 116th Street just east of Garnett Road. The scope is to line 5,324 LF of RCP pipe with cured in place pipe (CIPP), or other City approved material, and also rehabilitate four (4) manhole structures. It is anticipated that design and construction will occur in a single phase.		YES

**FY 20-24
TMAPC NEW PROJECTS**

Project Title	Category	Requesting Dept	Project Purpose	Dept Priority	Maintenance of Existing Facility
34 Interceptor Condition Assessment	Sewer	Public Works	The scope of this BCE is to develop an asset management plan (AMP) in FY19 to perform condition assessment on the remaining 323,000 LF of large diameter concrete inteceptor based on criticality. This AMP will also include goals and procedures for future condition assessment of the remaining gravity pipe materials in the collection system for diameters larger than or equal to 18-inches.		YES
35 Mingo FEB Concrete/Structural Repair	Sewer	Public Works	A Condition (Physical) Assessment of Mingo FEB was authorized by ES 2017-04 Notice to Proceed dated January 18, 2018 to identify and quantify basin and structural system repairs with a concentration on concrete and asphalt repair improvements to schedule funding sequence to produce bid plans and specifications necessary to competitively bid said improvements to restore Mingo FEB to its original condition. Condition Assessment recommendations, conclusions, and costs contained in 2018 Keithline Engineering Phase 1 Condition Assessment Report - Flow Equalization Basin Joint and Crack Repairs, ES 2017-04. Electrical, conveyance, support, and mechanical condition assessment not included. Other system assessments and paramenter improvements were not part of this project.		YES
36 Northside FEB Concrete/Structural Repair	Sewer	Public Works	A Condition (Physical) Assessment of Northside FEB was authorized by ES 2017-04 with Notice to Proceed dated January 18, 2018 to identify and quantify basin and structural system repairs with the concentration of the concrete and asphalt surface improvements to schedule funding sequence to produce bid plans and specifications necessary to competitively bid said improvements to restore Northside FEB to its original designed physical conditions. Condition Assessment recommendations, conclusions, and costs contained in 2018 Keithline Engineering Phase 1 Condition Assessment Report - Flow Equalization Basin Joint and Crack Repairs, ES 2017-04. Electrical, conveyance, support, and mechanical system condition assessments were not included. Other system assessments and parameter improvements were not part of this project.		YES
37 Northside Interceptor Improvements	Sewer	Public Works	The interceptor starts at Interceptor Lift Station (No. 5) at the downstream and the study ended at MH 101-0004 at the upstream. 12,025 LF of 66-inch reinforced concrete pipe (RCP) pipe was assessed and 10,943 LF of 60-inch RCP was assessed. The scope is to line 6,831 LF of RCP with cured in place pipe (CIPP), centrifugally cast fiberglass reinforced polymer mortar (CCFRPM) pipe, or other City approved material, externally pressure grout three (3) pipe joints, and perform heavy cleaning if necessary. It is anticipated that design and construction will occur in two (2) phases - one for 66-inch and one for 60-inch rehabilitation.		YES
38 Northside WWTP 13.2kv (Main) Switchgear	Sewer	Public Works	Replace the main incoming switchgear (13.2kv) and related loop switches and transformers in order to enhance reliability and upgrade equipment that is nearing the end of its useful service life. The project will involve replacing the main switchgear and related loop switches and transformers.		YES
39 SE Basin West Leg Interceptor Rehab	Sewer	Public Works	The 48-inch prestressed concrete cylinder pipe (PCCP) interceptor starts at MH 122-0035 at the downstream and ends upstream at MH 126-0052 as a 36-inch PCCP pipe for a total length of 18,269 LF and 31 manhole structures. The scope is to line the PCCP pipe with centrifugally cast fiberglass reinforced polymer mortar (CCFRPM) pipe, or other City-approved material, perform one (1) point repair, and also rehabilitate all of the manhole structures due to corrosion. It is anticipated that design and construction will occur in three (3) phases.		YES
40 Upper Joe Creek - East Branch	Sewer	Public Works	The project consists of a multi-year rehab and replacement project in the Upper Joe Creek - East Branch basin of the Southslope wastewater collection system. The project includes, pre- and post-rehab flow monitoring, hydraulic modeling, SSES, design, and construction. Construction activities will include a mix of rehabilitation and capacity enhancements, depending on solutions that are determined to be most cost-effective during the flow monitoring and modeling phase of the project. The I&I Abatement target for the basin is a 50% reduction in peak flow. The Upper Joe Creek - East Branch basin is defined as the collection system that is monitored by permanent flow monitor TL-11/43. It contains 265,000 linear feet of pipe and encompasses maintenance areas 64-S, 65-S, and 69-S.		YES

**FY 20-24
TMAPC NEW PROJECTS**

Project Title	Category	Requesting Dept	Project Purpose	Dept Priority	Maintenance of Existing Facility
41 Upper Joe Creek - West Branch	Sewer	Public Works	The project consists of a multi-year rehab and replacement project in the Upper Joe Creek basin of the Southslope wastewater collection system. The project includes, pre- and post-rehab flow monitoring, hydraulic modeling, SSES, design, and construction. Construction activities will include a mix of rehabilitation and capacity enhancements, depending on solutions that are determined to be most cost-effective during the flow monitoring and modeling phase of the project. The I&I Abatement target for the basin is a 25% reduction. The Upper Joe Creek - West Branch basin is defined as the collection system that is monitored by permanent flow monitors TL-21 and TL-46, jointly. It contains 239,000 linear feet of pipe and encompasses maintenance areas 66-S and 68-S.		YES
42 West Bank Lift Station Improvements	Sewer	Public Works	Includes major rehabilitation and/or replacement of the existing West Bank Lift Station. Rehabilitation scope identified in the TMUA Comp Assessment includes replacement of pumps and associated major equipment including grinders, gates valves, and the addition of air relief valves to address air locking. Comp Assesment also identified operator safety issues related to confined space entry requirements for daily inspection and maintenance of equipment. Conceptual report will evaluate rehabilitation and replacement alternatives.		YES
43 129th E. Ave. - 36th St. N. to 46th St. N.	Streets	Public Works	Widen existing two lane street to a four lane design section. Includes storm sewer improvements, and sanitary sewer improvements. This project will serve this growing commercial and industrial area of north Tulsa.	High	YES
44 36th St. N. and 129th E. Ave. Intersection Improvements	Streets	Public Works	Widen and improve existing two-lane roadway intersection at this location to the ultimate configuration of a 4-lane intersection with left turn lanes and traffic signals, as well as sidewalk and curb ramps where appropriate.	High	YES
45 Citywide Trails System Improvements	Streets	Public Works	The multi-use trail system has deteriorated over time and requires maintenance and rehabilitation to remain usable and remove safety hazards. The trails are intended to provide safe and healthy places to walk and ride bikes.	High	YES
46 23rd & Jackson Site Improvements	Water	Public Works	The project consists of repair and compliance issues that are needed to make improvements for general accessibility and for ongoing building maintenance needs. ADA standards and Facility Maintenance issues are to be addressed in and around the 23rd & Jackson campus. The parking lot is in need of drainage, sub-base improvements, surface overlays, and lighting to meet the increasing and ongoing needs of this area. New fencing will be placed around the piping yard to maintain security. The existing emergency generator is at the end of its service life and needs more capacity to meet the increased demand at this campus. There are multiple critical customers support groups located here and some work around the clock. Because this is such an extensive lists of needs, the improvements will need to be thoroughly evaluated and prioritized.		YES
47 AB Jewell Filter Gallery Pipe and Concrete Replacement	Water	Public Works	Provide improvements needed during maximum filter loading by identifying performance levels when seals begin to leak. Evaluate how and where water is flowing past piping seals during maximum filter loading and entering into the filter gallery. Project will need to determine the extent of damage done to the piping encased in the concrete walls and assess the structural integrity of these concrete walls. All facility piping and supports in the filter gallery are showing signs of rust and distress and will also need to be assessed.		YES
48 AB Jewell Site Improvements	Water	Public Works	Projects will provide for improved security and added safety. 1). Install truck scales to improve the procedures for receiving bulk materials. 2). Reconfigure the entrance to plant to provide better security and flow of traffic. 3). Replace the "chemical trench" covers throughout the plant with a lighter weight material.		YES

**FY 20-24
TMAPC NEW PROJECTS**

Project Title	Category	Requesting Dept	Project Purpose	Dept Priority	Maintenance of Existing Facility
49 HSPS Power Resilience Evaluation	Water	Public Works	Evaluate options which will make both, Mohawk and AB Jewell, water treatment plants (WTP) more resilient against failure in the event of a power loss from the two (2) PSO power sources to each WTP. These facilities depend wholly upon the PSO's for the electrical power. The intent of this study is to determine what methods are available and suitable to allow the plants to each produce a minimum of 30 MGD for an indefinite delivery period. Also, a look at "peaking" needs will be evaluated. Multi-option power sources from solar panels to emergency generators will be evaluated to compare the various performance metrics needed to operate these WTPs efficiently.		YES
50 Lead Service Line Inventory	Water	Public Works	The project consists of a multi-year inspection of all water services to determine the service line material entering and exiting the meter can. The Oklahoma Department of Environmental Quality encourages all water systems to display a service line materials inventory to the public on the City of Tulsa webpage. The City of Tulsa has historically replaced lead services when we have encountered them, but Tulsa does not have a service line materials inventory. Due to limited resources in Water Distribution Systems, a project is needed for a contractor to identify and record service line material type for all water service accounts.		YES
51 Raw Water Flowline Oologah Stabilization Repair	Water	Public Works	Provide protection of the existing "Oologah Raw Waterline (RWL) and the surrounding channel banks where it crosses through Bird Creek from continued scour and erosion. This RWL is experiencing underwater erosion and where it surfaces at the channel banks where there is extensive erosion occurring, due to the extensive erosion at the channel banks, more of the RWL is being exposed. The plan is to stabilize the banks and cover the RWL with a concrete cap and riprap the channel banks.		YES
52 Raw Water Flowline Repairs Oologah	Water	Public Works	<p>This project will provide the equipment and personal to inspect and assess the condition of the Oologah Raw Waterlines. Various tools are available for gathering this necessary data to thoroughly evaluate the condition of the pipelines.</p> <p>The investigation will begin at the Oologah Pump Station and proceed to know areas of concern. Entry points will be identified along the flowlines which will be used to gain access to the pipelines.</p> <p>The gathered data will be used to create assessment reports and help in the scheduling of repairs as needed.</p>		YES
53 Concrete Plant Site Acquisition	----	River Parks Authority	To acquire the GCC Mid-Continent Concrete Company riverfront property. This acquisition would help assure the ongoing viability of park uses at the River West Festival Park which earn revenue for River Parks Authority, attract tourism, and add to Tulsa's quality of life. The Festival Park programs and related paid public parking provide significant earned revenues for River Parks Authority's annual operating costs. The provision of adequate patron parking for events is vital to the success of these outdoor activities. In addition, acquisition would open important new economic development opportunities on the riverfront in proximity to downtown and Gathering Place. This would also be an excellent site for an RPA Administrative office and maintenance facility.	High	NO
54 Trail Expansion & Land Acquisition - Cousins Park to Sheridan Road	----	River Parks Authority	To acquire by fee simple and/or public access easements property for a trail corridor between Cousins Park, southeast to Sheridan Road, plus acquire approximately 15 acres of land for development of future trail-related park amenities such as parking and restroom facilities. Trail construction; 2.5 miles @ \$1.6MM/mile.	Medium	NO
55 Turkey Mountain Urban Wilderness Improvements	----	River Parks Authority	Implement the first phase of improvements recommended by a pending Turkey Mountain Urban Wilderness Master Plan.	High	YES

5.12

**FY 20-24
TMAPC NEW PROJECTS**

	Project Title	Category	Requesting Dept	Project Purpose	Dept Priority	Maintenance of Existing Facility
56	Destination Districts	----	Planning	Consistent with PLANiTULSA recommendations and AIM Plan strategies, the Destination Districts program will support new growth and regrowth in targeted, previously developed areas without substantially adding to Tulsa's infrastructure burden. Capital projects associated with this program will include installing pedestrian-oriented streetscaping along Main Streets and Mixed Use Corridors, and infrastructure that will support retrofits of severely underutilized or defunct Neighborhood, Town, and Regional Centers. The project will also support place management.	Medium	NO
57	Unity Heritage Gateways	----	Planning	Match DCC resources to improve underpasses at Main Street, Martin Luther King Jr. Boulevard, Detroit Avenue, and Greenwood Avenue as priority connections to Downtown Tulsa and the neighborhoods through enhanced signage, lighting, and urban design.	Medium	NO
58	Charles Page Blvd Reconfiguration	----	Planning	Restripe Charles Page Blvd to include bike lanes and pedestrian crossings from Houston Ave to N 25th West Avenue, where it will connect to a current IOT project.	Medium	NO
59	Arena District Master Plan Implementation - Civic Center	----	Planning	Civic Center plaza improvements including enhancement of the Cox Business Center user experience by creating promenade from entry to east side of 5th Street and Denver Ave.	Medium	NO
60	Crosbie Heights Underpass Improvements	----	Planning	Improve underpasses into Crosbie Heights neighborhood to create safe gateways.	Medium	NO
61	WATCO Railroad Relocation	----	Planning	Relocation of the WATCO Railroad line including possible leverage of CRISI Grant Funds – FRA Consolidated Rail Infrastructure and Safety Improvements for rail relocation.	Medium	NO
62	Memorialize Black Wall Street	----	Planning	Capital funds would be used to provide signage, monuments, and historic markers that will help foster placemaking and support the memorialization and resurgence of Black Wall Street.	Medium	NO
63	Launch "City Hall on the Go"	----	Planning	Outfit a vehicle to act as a mobile City Hall. Citizens across Tulsa have limited time, and some have limited transportation. These restrictions limit the public's knowledge of City services, and also make it difficult to pay bills, fines, and fees during regular hours of operation. To improve communication with constituents and enhance accessibility, the City of Tulsa will equip a van with necessary technology, tools, and departmental employees to act as a City Hall on-the-go. With the aid of a weekly schedule, City Hall on-the-go will visit high need areas of town in centrally located, convenient locations.	Low	NO
64	Neighborhood Action Plan Development and Implement	----	Planning	Expand Neighborhood Action Plans to address community needs and request more effectively. The Planning Department will expand its Neighborhood Action Plan program and complete eight assessments over the next two years to meet and address immediate needs and requests within communities awaiting the implementation of Small Area Plans. Funds would support projects through the implementation of plans and assessments conducted in vulnerable neighborhoods.	Medium	NO
65	Healthy Places Initiative	----	Planning	Accelerate coordinated investments to address housing affordability, placemaking, walkability, transit access, food access, crime, and economic and workforce development in high-needs neighborhoods through the Healthy Places pilot program. In collaboration with neighborhood communities, the City will create and implement a plan over the coming year and then will work interdepartmentally to launch additional after school programming, opportunities for owners to rehabilitate their homes, appropriately incentivized development, and funding specific to the area to meet community needs. Outcomes of additional resources and development will be measured through surveys and tracking of health improvements every 6 months to establish the impact on the community. Funds would be use to match grant and private funding.	Medium	NO
66	Establish an Innovation District and Prototyping Zone	----	Planning	Authorize an Innovation District and Prototyping Zone. The City will establish an innovation district to leverage the expertise of Tulsa's major employers, entrepreneurs, and academic community to enhance and further research and development in Tulsa. Tulsa has an entrepreneurial spirit and is a manufacturing, aerospace, and transportation hub. To maximize this and strengthen its place in the regional economy, the City will permanently dedicate space to innovation. This specialized district will encourage local innovation in distribution technologies, and the City will formally dedicate a section of the city as a "prototyping zone" in which restrictions on driving and flying equipment are relaxed while ensuring public safety.	Low	NO

TOTAL

DEPARTMENT Gilcrease
CATEGORY -----

1

PROJECT

Windows

PURPOSE Window System Replacement

CLASS Replacement
DURATION 1
EST LIFE 40

PRIORITY High
LOCATION Gilcrease Museum

REASON FOR CLASS

The museum's windows are thermally broken, not sealed or insulated properly allowing water infiltration and causing condensation to form inside the windows. The first floor glass is delaminating. Expansion joints are not sealed on the exterior of the building. Replace with insulated thermal barrier windows, new seals and caulking.

GENERAL COMMENTS

Est as of 2/1/2018

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

N/A

ROI DESCRIPTION

N/A

PLAN OR STUDY

None

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED 1/0/1900
REQUEST 12/5/2018
MODIFIED 1/2/2019

CONTACT EMAIL

Susan Neal/Sandi Freeman
sandi-freeman@utulsa.edu

5.14

DEPARTMENT
CATEGORY

Information Technology
Facilities

PROJECT

One Technology Center, Compstat, Police Courts, Convention Center

PURPOSE

To upgrade the Building Automation system (Metasys) in the project facilities. Replacing discontinued LON controllers, BACnet Field Equipment Controllers (FEC's) and Input Output Modules (IOM's) modifying the Metasys database to add new controls, programs and graphics to improve over all system function and reliability.

CLASS
DURATION
EST LIFE

Replacement
N/A
10 to 15 Years

PRIORITY
LOCATION

High
175 E. 2nd St, 600 Civic Center, 100 Civic Center

REASON FOR
CLASS

N/A

GENERAL
COMMENTS

Upgrading the Building Automation System would ensure that we do not lose control of the HVAC systems in the building(s) that the Metasys system controls and improve comfort and energy efficiency in those facilities.

RELATIONSHIP
TO OTHER
PROJECTS

N/A

ROI

N/A

COORDINATING
AGENCIES

Asset Management Department

ROI
DESCRIPTION

N/A

PLAN
OR STUDY

N/A

LINKS &
LEVERAGES
DESCRIPTION

N/A

RELATIONSHIP
TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/6/2016
12/5/2016

CONTACT
EMAIL

Thomas Chandler
tchandler@cityoftulsa.org

DEPARTMENT Information Technology
CATEGORY Facilities

3

PROJECT Roofing replacement Telecommunications Department

PURPOSE replacement of dilapidated roofing systems on the following facilities Electronics Shop, Telecommunications Garage

CLASS Replacement
DURATION N/A
EST LIFE 15-30

PRIORITY High
LOCATION 3411 N Columbia

REASON FOR CLASS To replace dilapidated roofing systems to tighten the building envelope to prevent water intrusion and thereby prevent indoor air quality and mold problems within our facilities.

GENERAL COMMENTS roofs are currently in disrepair and leaking.

RELATIONSHIP TO OTHER PROJECTS N/A

ROI N/A

COORDINATING AGENCIES N/A

ROI DESCRIPTION N/A

PLAN OR STUDY Roofing Report

LINKS & LEVERAGES DESCRIPTION N/A

RELATIONSHIP TO PLAN N/A

CREATED 1/0/1900
REQUEST 12/6/2016
MODIFIED 12/6/2016

CONTACT Max Wells, Thomas Chandler
EMAIL mwells@cityoftulsa.org, tchandler@cityoftulsa.org

5.16

DEPARTMENT CATEGORY | **MTTA**

PROJECT

11th Street BRT Completion

PURPOSE | Provide funding to complete 11th Street BRT.

CLASS DURATION | New
EST LIFE | N/A
20

PRIORITY | N/A
LOCATION | N/A

REASON FOR CLASS | Improve service to public and increase economic opportunities by providing a BRT corridor on 11th Street.

GENERAL COMMENTS | Federal \$0 Local \$20M

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 1/0/1900
MODIFIED | 1/2/2019

CONTACT EMAIL

Ted Rieck
trieck@tulsatransit.org

DEPARTMENT | MTTA
CATEGORY | ----

Downtown Transit Center

PROJECT

PURPOSE

Current Facilities are no longer adequate for the various service expansions and facility is requiring refurbishment

CLASS
DURATION
EST LIFE

New
N/A
20

PRIORITY
LOCATION

High
Tulsa Metropolitan area

REASON FOR CLASS

Current Facilities are no longer adequate for the various service expansions and facility is requiring refurbishment

GENERAL COMMENTS

Federal \$0 Local \$20M

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

0

COORDINATING AGENCIES

INCOG

ROI DESCRIPTION

N/A

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
1/0/1900
1/2/2019

CONTACT EMAIL

Ted Rieck
trieck@tulsatransit.org

DEPARTMENT | MTTA
CATEGORY | ----

6

PROJECT

Security Improvements

PURPOSE

Replacement of current security technologies that have met their useful life requirements and provide enhanced security technologies for all of MTTA facilities

CLASS
DURATION
EST LIFE

Replacement
N/A
5

PRIORITY
LOCATION

Med
N/A

REASON FOR CLASS

Bus cameras and surveillance technologies for fleet and build security technologies for all facilities to enhance security and provide safe environment for the public and protect MTTA's assets and limit liabilities.

GENERAL COMMENTS

Federal \$0 Local \$2.11M

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

INCOG

ROI DESCRIPTION

N/A

PLAN OR STUDY

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
1/0/1900
1/2/2019

CONTACT
EMAIL

Ted Rieck
trieck@tulsatransit.org

5.19

DEPARTMENT PAC
CATEGORY Facilities

PROJECT **TPAC HOT WATER STEAM REPAIR UPGRADE**

PURPOSE Improve the Steam and Domestic water distribution to be more efficient and effective. Replace the Domestic Hot Water/Heating Hot Water systems heat exchanger with a modern on demand exchanger and re-plumb the DHW/HHW and steam reduction systems to allow for seasonal isolation and more effective and efficient use and energy conservation.

CLASS	Icement/Rehabil	PRIORITY	High
DURATION	3-6 months	LOCATION	110 E 2nd Street, Tulsa OK 74103
EST LIFE	40 years		

REASON FOR CLASS The Domestic Hot Water System (DHW) and Heating Hot Water (HHW) and Steam distribution systems are original to the building, with few changes. They are well beyond their service life, and require excessive maintenance and repair. The DHW and HHW are a combined system heated by the steam distribution system. The major components to DHW and HHW system are located such that maintenance and repairs on this 40+ year old heat exchanger and system are extremely difficult and costly. No provisions were made for seasonal isolation, or maintenance isolation making the systems inefficient and ineffective.

GENERAL COMMENTS These improvements are necessary to maintain the environmental conditions required of a performance venue as well as the overall health of the building and staff.

RELATIONSHIP TO OTHER PROJECTS	N/A	ROI	N/A
COORDINATING AGENCIES	City Engineering, PAC Staff, Code Compliance	ROI DESCRIPTION	N/A
PLAN OR STUDY	N/A	LINKS & LEVERAGES DESCRIPTION	N/A
RELATIONSHIP TO PLAN	N/A		

CREATED	1/0/1900	CONTACT	Bryan Clemons
REQUEST	1/30/2019	EMAIL	bclemons@cityoftulsa.org
MODIFIED	1/30/2019		

DEPARTMENT | **Parks**
CATEGORY | ----

8

PROJECT

Construct 2 Dog Parks

PURPOSE

Add 2 additional dog parks. Locations to be determined at time of fundings. Included are shade structures, water stations, sidewalks, fencing, dog park specific amenities, and additional parking if needed.

CLASS
DURATION
EST LIFE

Expansion
12 months
N

PRIORITY
LOCATION

9
To be determined

REASON FOR
CLASS

NA

GENERAL
COMMENTS

N/A

RELATIONSHIP
TO OTHER
PROJECTS

NA

ROI

COORDINATING
AGENCIES

N

ROI
DESCRIPTION

NA

PLAN
OR STUDY

2010 Parks Master Plan

LINKS &
LEVERAGES
DESCRIPTION

NA

RELATIONSHIP
TO PLAN

NA

CREATED
REQUEST
MODIFIED

1/0/1900
10/1/2018
12/7/2018

CONTACT
EMAIL

Jackie Bubenik
jackiebubenik@cityoftulsa.org

5.21

DEPARTMENT
CATEGORY

Parks

9

PROJECT

Internal Looped Park Walking/Biking Trails

PURPOSE

The looped walking/biking trails have deteriorated over time. In some cases, it has become a health and safety issue.

CLASS
DURATION
EST LIFE

Rehabilitation
3 years
7

PRIORITY
LOCATION

6
N/A

REASON FOR
CLASS

The walking/biking trails in our City Parks have deteriorated and have created a safety hazard.

GENERAL
COMMENTS

There is a 15% contingency added to the construction costs.

RELATIONSHIP
TO OTHER
PROJECTS

Parks Master Plan

ROI

0

COORDINATING
AGENCIES

N/A

ROI
DESCRIPTION

Safe and healthy places to walk and ride their bikes.

PLAN
OR STUDY

N/A

LINKS &
LEVERAGES
DESCRIPTION

Parks Master Plan

RELATIONSHIP
TO PLAN

Parks Master Plan

CREATED
REQUEST
MODIFIED

1/0/1900
7/10/2018
12/10/2018

CONTACT
EMAIL

Jackie Bubenik
jackiebubenik@ci.tulsa.ok.us

5-22

DEPARTMENT | **Parks**
CATEGORY | ----

10

PROJECT | **Upgrade, Add, or Renovate outdoor park play amenities.**

PURPOSE | Replace, Add, and/or upgrade aging and failing playgrounds, water playgrounds and adult workout infrastructure at multiple sites. Replacements will include 2 themed playgrounds (\$1,100,000/each), 10 non-themed playgrounds (\$355k/each); 6-7 water playgrounds. Sidewalks and shelters will be added as needed.

CLASS | Replacement
DURATION | 5 years
EST LIFE | 15 years

PRIORITY | 1
LOCATION | System Wide

REASON FOR CLASS | Project may add equipment where none currently exist, replace existing, or upgrade existing play equipment, water playgrounds, curbing and walks.

GENERAL COMMENTS | N/A

RELATIONSHIP TO OTHER PROJECTS | NA

ROI | ----

COORDINATING AGENCIES | NA

ROI DESCRIPTION | NA

PLAN OR STUDY | 2010 Parks Master Plan

LINKS & LEVERAGES DESCRIPTION | NA

RELATIONSHIP TO PLAN | NA

CREATED | 1/0/1900
REQUEST | 8/30/2018
MODIFIED | 12/7/2018

CONTACT EMAIL | Jackie Bubenik
jackiebubenik@cityoftulsa.org

5.23

DEPARTMENT **Parks**
CATEGORY **Facilities**

11

PROJECT **Baseball/Softball Sport Fields Rehabilitation**

PURPOSE Tulsa Parks will prioritize improvements at:
Savage: Lighting for new fields #7,8,9, and 10. Add Shade cloth for bleachers Repair bathroom floor Repair stairwell wall Add maintenance building.
Carl Smith: Remove replace original fields 1, 2, 3, 4. including but not limited to fencing, lighting, irrigation, dugouts and sod. Replace or repair retaining walls. Replace restroom/concession building(s). Renovate and restripe existing parking lot. Replace existing walks and storm structures as needed...replace/renovate bleachers, shade structures, backstops. Enlarge and Renovate existing lagoon.

CLASS **Rehabilitation**
DURATION **3years**
EST LIFE **15**

PRIORITY **14**
LOCATION **17800 East 21st Street
17120 e 21 st**

REASON FOR CLASS Need to address maintenance issues now...the longer the items are deferred the more they will cost. Lighting the fields will add to play time and useability of the facility. Upgrade security system.

GENERAL COMMENTS na

RELATIONSHIP TO OTHER PROJECTS na

ROI 0

COORDINATING AGENCIES na

ROI DESCRIPTION na

PLAN OR STUDY Tulsa Park Masters Plan

LINKS & LEVERAGES DESCRIPTION na

RELATIONSHIP TO PLAN na

CREATED 1/0/1900
REQUEST 9/20/2018
MODIFIED 12/7/2018

CONTACT EMAIL **Jack Bubenik**
jackiebubenik@cityoftulsa.org

5.24

DEPARTMENT Parks
CATEGORY Facilities

PROJECT

Hill Park Improvements

PURPOSE

Add covered multi-use sports courts, trail, outdoor adult workout facility, themed playground, shelters, benches, water fountain and shade structures. Renovate and possibly expand existing parking lot and drives.

CLASS Replacement
DURATION 24 Months
EST LIFE 15+ years

PRIORITY 8
LOCATION N/A

REASON FOR CLASS

The existing facility is closed and the amminities are beyond their useful life.

GENERAL COMMENTS

none

RELATIONSHIP TO OTHER PROJECTS

none

ROI

COORDINATING AGENCIES

none

ROI DESCRIPTION

N/A

PLAN OR STUDY

Tulsa Parks Master Plan

LINKS & LEVERAGES DESCRIPTION

none

RELATIONSHIP TO PLAN

none

CREATED 1/0/1900
REQUEST 7/10/2018
MODIFIED 12/7/2018

CONTACT EMAIL

jack bubenik
jackiebubenik@cityoftulsa.org

DEPARTMENT **Parks**
CATEGORY **Facilities**

13

PROJECT

Mohawk Park rehabilitation and renovation

PURPOSE

Repair and renovate existing equestrian trails and facilities; expand bike and pedestrian trails. Re-develop recreational opportunities on water ways in Mohawk. Add pier at Lake Sherry to promote passive activities within the boundaries of Oxley. Add speed humps/speed control devices where applicable, evaluate and repair roadways and existing parking Evaluate and renovate existing shelters, add shelters where needed. Assess and repair as needed historic WPA ammenities.

CLASS
DURATION
EST LIFE

Rehabilitation
3 years
20+ Years

PRIORITY
LOCATION

5
5701 E. 36th st North

REASON FOR
CLASS

N/A

GENERAL
COMMENTS

N/A

RELATIONSHIP
TO OTHER
PROJECTS

N/A

COORDINATING
AGENCIES

N/A

PLAN
OR STUDY

2010 Parks Master Plan

RELATIONSHIP
TO PLAN

N/A

ROI

N/A

ROI
DESCRIPTION

N/A

LINKS &
LEVERAGES
DESCRIPTION

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
10/1/2018
12/7/2018

CONTACT
EMAIL

Jackie Bubenik
Jackiebubenik@cityoftulsa.org

5.26

DEPARTMENT **Parks**
CATEGORY **Flood Control/Storm Water**

14

PROJECT **Golf: Mohawk Park - Low Water Crossing #17 Pecan Valley**

PURPOSE Low water crossing here is in need of maintenance repairs. Surface has badly eroded.

CLASS Rehab
DURATION 2 years
EST LIFE 10 years

PRIORITY 1
LOCATION 5325 E. 41st Street North

REASON FOR CLASS N/A

GENERAL COMMENTS N/A

RELATIONSHIP TO OTHER PROJECTS N/A

ROI N/A

COORDINATING AGENCIES N/A

ROI DESCRIPTION N/A

PLAN OR STUDY N/A

LINKS & LEVERAGES DESCRIPTION N/A

RELATIONSHIP TO PLAN N/A

CREATED 1/0/1900
REQUEST 12/4/2018
MODIFIED 12/7/2018

CONTACT EMAIL

Jackie Bubenik
jackiebubenik@cityoftulsa.org

5.27

DEPARTMENT **Parks**
CATEGORY **Flood Control/Storm Water**

15

PROJECT **Mohawk Park - Excavate Pecan Valley and build berm behind Woodbine to prevent flooding tee boxes.**

PURPOSE **Excavate Pecan Valley and build berm behind Woodbine to prevent flooding tee boxes.**

CLASS **Rehabilitation**
DURATION **2 years**
EST LIFE **15 years**

PRIORITY **21**
LOCATION **5323 E 41st street north**

REASON FOR CLASS **N/A**

GENERAL COMMENTS **N/A**

RELATIONSHIP TO OTHER PROJECTS **N/A**

ROI **N/A**

COORDINATING AGENCIES **N/A**

ROI DESCRIPTION **N/A**

PLAN OR STUDY **N/A**

LINKS & LEVERAGES DESCRIPTION **N/A**

RELATIONSHIP TO PLAN **N/A**

CREATED **1/0/1900**
REQUEST **12/5/2018**
MODIFIED **12/7/2018**

CONTACT EMAIL **jackie bubenik**
jackiebubenik@cityoftulsa.org

5.28

DEPARTMENT
CATEGORY

Parks
Flood Control/Storm Water

16

PROJECT

Mohawk Park - Low Water Crossing #12 Pecan Valley

PURPOSE

Low water crossing here is in need of maintenance repairs. Approach to crossing is now gravel and mud. Drainage pipe has been completely compromised under structure.

CLASS
DURATION
EST LIFE

Rehabilitation
N/A
10+ years

PRIORITY
LOCATION

3
N/A

REASON FOR CLASS

N/A

GENERAL COMMENTS

5323 E. 41st street North

RELATIONSHIP TO OTHER PROJECTS

N/A

COORDINATING AGENCIES

N/A

PLAN OR STUDY

N/A

RELATIONSHIP TO PLAN

N/A

ROI

N/A

ROI DESCRIPTION

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/4/2018
12/7/2018

CONTACT
EMAIL

jackie bubenik
jackiebubenik@cityoftulsa.org

5.29

DEPARTMENT Parks
CATEGORY Zoo

PROJECT

Children's Zoo Phase 1

PURPOSE

The Tulsa Zoo's current children's zoo has outdated infrastructure starting at the entry bridge into the area. The amphitheater, lack of updated animal exhibits, and engaging play opportunities for children must be addressed. In Phase 1 of the Children's Zoo, the zoo will move the free educational program, Nature Exchange to the center of the zoo. Two new animal exhibits will also replace failing infrastructure in this area. The giant otter exhibit and the giant anteater exhibit will be two new, engaging species for our guests at the Tulsa Zoo. These important species are phasing declining populations in the wild due to habitat disturbances.

CLASS
DURATION
EST LIFE

Rehabilitation
N/A
50

PRIORITY
LOCATION

High
6421 East 36th Street North, Tulsa, OK 74115

REASON FOR CLASS

The current Children's Zoo has aging infrastructure and outdated exhibits from the entry-bridge and amphitheater throughout the entire area. This includes but is not limited to: failing retaining walls, failing stage and crumbling seating in amphitheater, lack of modern animal exhibits and reserve areas, narrow and winding public paths that cannot accommodate busy days with strollers and wagons, restrooms in need of updating, and a lack of engaging play and learning opportunities for children.

GENERAL COMMENTS

NA

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

N/A

ROI DESCRIPTION

N/A

PLAN OR STUDY

Tulsa Zoo Master Plan

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/5/2018
1/2/2019

CONTACT EMAIL

Terrie Correll
<mailto:tcorrell@tulzazoo.org>

DEPARTMENT **Parks**
CATEGORY **Zoo**

PROJECT **Tropical American Rainforest (TARF) HVAC**

PURPOSE The Tropical American Rainforest was completed in 1998 and the HVAC system is original to this exhibit. These HVAC units are considered the life support system for the animal and plant collections that are displayed in this large, multi-story "greenhouse". This system maintains the necessary temperatures to ensure the health and well-being of the animal collection and proper temperatures for plants as well as providing for the comfort of guests and staff. The HVAC system depends on four compressors, and these compressors have exceeded their life expectancy and need to be replaced. Replacing the existing compressors with new screw compressors eliminates the dependability and overheating issues which in turns provides the appropriate temperatures for animal and plant collections and for guests and staff.

CLASS Replacement
DURATION N/A
EST LIFE 30

PRIORITY High
LOCATION 6421 East 36th Street North, Tulsa, OK 74115

REASON FOR CLASS Although the compressors are still functioning they are regularly overheating and tripping off causing the HVAC system to shut down until they are manually reset. This unreliability puts the animal and plant collections at risk during extreme temperatures of summer and winter. The new compressors will eliminate the risk of exposing the animal and plant collections to improper temperatures and it will have the benefit of the HVAC system operating 35% more efficiently and saving on operating costs; the new compressors run on R-410A (\$4 per pound) versus R-22 (\$25 dollars per pound).

GENERAL COMMENTS NA

RELATIONSHIP TO OTHER PROJECTS N/A

COORDINATING AGENCIES N/A

PLAN OR STUDY N/A

RELATIONSHIP TO PLAN N/A

ROI N/A

ROI DESCRIPTION N/A

LINKS & LEVERAGES DESCRIPTION N/A

CREATED 1/0/1900
REQUEST 12/5/2018
MODIFIED 1/2/2019

CONTACT EMAIL Terrie Correll
<mailto:tcorrell@tulzazoo.org>

DEPARTMENT | **Police**
CATEGORY | ----

PROJECT

Eurocopter

PURPOSE

Replace 2013 Bell Helicopter and FLIR

CLASS
DURATION
EST LIFE

Replacement
N/A
10 Years

PRIORITY
LOCATION

1
6066 E 66th St N
Tulsa, OK 74117-1811

REASON FOR CLASS

Replace 2013 Bell Helicopter and FLIR

GENERAL COMMENTS

N/A

RELATIONSHIP TO OTHER PROJECTS

N/A

COORDINATING AGENCIES

N/A

PLAN OR STUDY

N/A

RELATIONSHIP TO PLAN

N/A

ROI

N/A

ROI DESCRIPTION

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
1/0/1900
12/10/2018

CONTACT
EMAIL

Nick Cory
ncory@cityoftulsa.org

DEPARTMENT | Police
CATEGORY | ----

20

Jail Video Data Retention

PROJECT

PURPOSE

Retain jail video for 26 months for litigation purposes. Currently we are only able to keep 6 months of video (at best) depending on what is being retained. We need to protect the City of Tulsa during any litigation brought from incidents occurring in the lock up facility.

CLASS
DURATION
EST LIFE

Expansion
N/A
10 years

PRIORITY

3

LOCATION

Police/Municipal Courts Building
600 Civic Center

REASON FOR
CLASS

Expanding our retention capability from 6 months to 26 months

GENERAL
COMMENTS

N/A

RELATIONSHIP
TO OTHER
PROJECTS

N/A

COORDINATING
AGENCIES

N/A

PLAN
OR STUDY

N/A

RELATIONSHIP
TO PLAN

N/A

ROI

Could be huge by protecting city from lawsuits

ROI
DESCRIPTION

N/A

LINKS &
LEVERAGES
DESCRIPTION

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/10/2018
12/11/2018

CONTACT
EMAIL

Steve Bayles
swbayles@cityoftulsa.org

5.33

DEPARTMENT | **Police**
CATEGORY | Facilities

PROJECT

Police Heliport

PURPOSE | Build police heliport for two helicopters

CLASS | New
DURATION | N/A
EST LIFE | 10+ years

PRIORITY | 2
LOCATION | Police Academy
6066 E 66th St N
Tulsa, OK 74117-1811

REASON FOR CLASS | Currently leasing space

GENERAL COMMENTS | N/A

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | Engineering Services / City of Tulsa

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 1/0/1900
MODIFIED | 12/10/2018

CONTACT EMAIL

Nick Cory
ncory@cityoftulsa.org

DEPARTMENT | **Police**
CATEGORY | **Facilities**

22

PROJECT

SID Building

PURPOSE

The Special Investigations Division of the Tulsa Police Department is tasked with the investigation of major narcotic cases, vice investigations, and gang related activity occurring or impacting the City of Tulsa and its citizens. This proposed building will house the personnel responsible with those investigations along with the staff that support in them, consisting of primarily office and conference room space. This building will be the location where the police department conducts phone intercepts and other cell phone related analysis, which law requires is conducted in a specially equipped room. Additionally, this building will need a fabrication laboratory and work shop for designing and fabricating equipment used in undercover operations. There will also be a healthy and wellness room to be used by the personnel assigned to the division.

CLASS
DURATION
EST LIFE

Replacement
N/A
25+ years

PRIORITY
LOCATION

9
would be constructed on city owned land behind the Tulsa Fire Station located at 9827 East 59th Street South.

REASON FOR CLASS

Special Investigation Division currently pays an annual lease of approximately \$125,000.00 for use of a 17,000 square foot building. New facility would cost approximately 3.5 mil.

GENERAL COMMENTS

N/A

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

N/A

ROI DESCRIPTION

N/A

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/10/2018
12/11/2018

CONTACT EMAIL

Jacob Johnston
jjohnston@cityoftulsa.org

5.35

PROJECT

Police Courts Building Modernization

PURPOSE

Upgrade the following systems within the Police Courts Building: Roof, HVAC, Plumbing, Fire Alarm and Elevators. The Honeywell Fire Alarm system in this building is outside of its life cycle and due to that reason, parts for repairs are no longer available. System FS90 panels need to be upgraded to the XLS3000 panels, existing front end software, windows software need to be upgraded to the latest version, upgrade capabilities of the system to allow for individual point annunciation and identification, provide First Responder annunciator at facility point of entry, provide voice messaging for fire notifications, weather alerts, and active shooter warnings. These upgrades will improve Fire safety through out the facility and the safety of the occupants and our first responders. Upgrading the HVAC equipment and controls will improve control of the built environment and reduce the operating cost for the facility by as much as 30%. It will also reduce the potential for a catastrophic failure, which could make areas of the facility unusable. The elevators are original to the building. Components of the system are obsolete and for that reason the elevators are no longer reliable and should be modernized. A failure of any of these units could leave the building without elevator service for an extended period of time.

CLASS
 DURATION
 EST LIFE

Rehabilitation
 3
 30 years

PRIORITY
 LOCATION

high
 600 Civic Center

REASON FOR CLASS

Systems are outdated and in need of full replacement. Modernization of the 5 elevators in the Police Courts Building. We have an immediate need for this rehabilitation due to obsolete parts for these elevators. Failure to do so could cause them to be taken out of service.

GENERAL COMMENTS

Traction Elevators-Providing new micro processor control systems including a new drive system, updating the door operation systems with closed loop motors, new car and hall signal fixtures, providing new hoistway and machine room wiring. New A/C motors will be provided and the existing machines will be refurbished. Motor generators will be removed providing a cleaner environment generators will no longer have to be rebuilt. Hydraulic Elevators- provide new micro processor controllers, a new power unit consisting of a new pump, valve, motor and oil tank, updating the door operator systems with new closed loop operators, new car and hall fixtures, and providing new hoistway and machine room wiring. Units presently in use are outside of their life cycle and need to be modernized to improve the function of these elevators. Improving functionality for the occupant and the public. A 5% cost escalation of the estimated cost should be added for every year the project is not funded. 2015

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

Facilities Maintenance

ROI DESCRIPTION

N/A

PLAN OR STUDY

Thyssenkrupp provided modernization plan for the elevator units in question.

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED
 REQUEST
 MODIFIED

1/0/1900
 12/7/2018
 12/7/2018

CONTACT EMAIL

Thomas Chandler / Brent Stout
tchandler@cityoftulsa.org

DEPARTMENT Public Works
CATEGORY Flood Control

24

PROJECT 43rd and Sheridan Drainage Improvements - Phase I

PURPOSE The existing storm sewer is inadequate during a 2-year event causing water to overtop Sheridan and flood downstream properties.

CLASS Replacement
DURATION 2 Years
EST LIFE 50 years

PRIORITY High
LOCATION 4300 South Sheridan

REASON FOR CLASS Replacement of existing storm sewer system to collect and convey a 100-year event.

GENERAL COMMENTS N/A

RELATIONSHIP TO OTHER PROJECTS N/A

ROI N/A

COORDINATING AGENCIES N/A

ROI DESCRIPTION N/A

PLAN OR STUDY Mini-Study by Meshek and Associates/Complaints

LINKS & LEVERAGES DESCRIPTION N/A

RELATIONSHIP TO PLAN N/A

CREATED 1/0/1900
REQUEST 12/5/2018
MODIFIED 12/5/2018

CONTACT EMAIL Gary McCormick
gmcormick@cityoftulsa.org

5.37

DEPARTMENT Public Works
CATEGORY Flood Control

25

PROJECT **Fontana Shopping Center Detention Facility**

PURPOSE Underground storm water detention facility to reduce flooded businesses in Fontana Shopping Center.

CLASS New
DURATION 1 Year
EST LIFE 50 years

PRIORITY High
LOCATION NW Corner of East 51st South and South Memorial Drive.

REASON FOR CLASS New detention facility

GENERAL COMMENTS N/A

RELATIONSHIP TO OTHER PROJECTS N/A

ROI N/A

COORDINATING AGENCIES N/A

ROI DESCRIPTION N/A

PLAN OR STUDY N/A

LINKS & LEVERAGES DESCRIPTION N/A

RELATIONSHIP TO PLAN N/A

CREATED 1/0/1900
REQUEST 12/5/2018
MODIFIED 12/5/2018

CONTACT EMAIL

Gary McCormick
gmcormick@cityoftulsa.org

5.38

DEPARTMENT Public Works
CATEGORY Flood Control

26

PROJECT

Hager Creek Storm Sewer Relief Line

PURPOSE

Alleviate flooding of 81st Street and the ponding water in Hager Creek.

CLASS
DURATION
EST LIFE

Replacement
2 Years
50

PRIORITY

High

LOCATION

8100 South Elwood Avenue

REASON FOR CLASS

Project will replace the inadequate drainage system at 81st Street and will provide a system that will drain runoff to the Arkansas River.

GENERAL COMMENTS

This is the number one priority storm water/flood control project based on Public Works prioritization criteria. 81st Street overtops in minor rainfall events.

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

FEMA
Corps of Engineers

ROI DESCRIPTION

N/A

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/5/2018
12/5/2018

CONTACT
EMAIL

Gary McCormick
gmccormick@cityoftulsa.org

5-39

DEPARTMENT | **Public Works**
CATEGORY | Flood Control

27

PROJECT

Springdale Detention/Wetland Facility

PURPOSE

Alleviate flooding of residential structures and the overtopping of Pine Street.

CLASS
DURATION
EST LIFE

New
2 Years
50 Years

PRIORITY
LOCATION

High
NW corner of West Pine Street and North Xanthus.

REASON FOR
CLASS

New storm water detention facility.

GENERAL
COMMENTS

N/A

RELATIONSHIP
TO OTHER
PROJECTS

N/A

ROI

N/A

COORDINATING
AGENCIES

FEMA
Corps of Engineers
ODEQ

ROI
DESCRIPTION

N/A

PLAN
OR STUDY

Dirty Butter Creek MDP Update - Meshek & Associates

LINKS &
LEVERAGES
DESCRIPTION

N/A

RELATIONSHIP
TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/5/2018
12/5/2018

CONTACT
EMAIL

Gary McCormick
gmcormick@cityoftulsa.org

5,40

DEPARTMENT
CATEGORY

Public Works
Sewer

PROJECT

21st & Riverside Lift Station Improvements - Phase 2

PURPOSE

Provide improved wet weather performance of the lift station. Phase 1 will be performed under the Areawide lift station program and focus on improvements to the slide gate, along with electrical and controls, and also include complete evaluation of lift station to generate final scope for Phase 2. Phase 2 will focus on design and construction of improvements to the 48-inch hydraulic influent isolation gate and control unit to limit wet weather flows to the wet well. Hydraulic control unit also needs to be moved from lower level to upper level to protect unit and allow operator access during a dry well flood event. Pumps 1 & 2 are also in poor condition and will not operate simultaneously with Pumps 3, 4 and 5. Scope will address current pump cavitation, possible pump replacement, and wet well volume for optimal performance.

CLASS
DURATION
EST LIFE

cement/Rehabil
2021
20

PRIORITY
LOCATION

N/A
Collection System

REASON FOR
CLASS

N/A

GENERAL
COMMENTS

20SOM_CS_SS_0003

RELATIONSHIP
TO OTHER
PROJECTS

N/A

ROI

N/A

COORDINATING
AGENCIES

N/A

ROI
DESCRIPTION

N/A

PLAN
OR STUDY

N/A

LINKS &
LEVERAGES
DESCRIPTION

N/A

RELATIONSHIP
TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/5/2018
1/28/2019

CONTACT
EMAIL

Thomas Prag
tprag@cityoftulsa.org

DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

29

PROJECT | **Cherry Creek FEB Concrete/Structural Repair**

PURPOSE | A Condition (Physical) Assessment of Southside FEB was authorized by ES 2017-04 Notice to Proceed dated January 18, 2018 to identify and quantify basin and structural system repairs of concrete and asphalt surface improvements to schedule funding sequence to produce bid plans and specifications necessary to competitively bid said improvements to restore Southside FEB to its original condition. Condition Assessment recommendations, conclusions, and costs contained in 2018 Keithline Engineering Phase 1 Condition Assessment Report - Flow Equalization Basin Joint and Crack Repairs, ES 2017-04. Electrical, conveyance, support, and mechanical condition assessment were not included. Other system assessments and parameter improvements were not part of this project.

CLASS | cement/Rehabil
DURATION | 2025
EST LIFE | 20

PRIORITY | N/A
LOCATION | Southside

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20WPC_SS_0001

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

CONTACT EMAIL | [Thomas Prag](mailto:tprag@cityoftulsa.org)
tprag@cityoftulsa.org

5.42

PROJECT **Coal Creek 103N Parallel Interceptor**

PURPOSE The Coal Creek Interceptor begins upstream at Manholes 113-0092 & 113-0086 and ends downstream at Manholes 103-0016 & 103-0027. 17,036 LF of parallel 24- to 36-inch reinforced concrete pipe (RCP) interceptor was assessed as part of this project. The scope is to line 325 LF of 24-inch and 36-inch RCP pipe with cured in place pipe (CIPP), or other City approved material; construct 900 LF of new 48-inch pipe, one (1) junction box & two (2) manholes due to a hydraulic bottle neck; and also rehabilitate two (2) manhole structures. It is anticipated that design and construction will occur in a single phase.

CLASS cement/Rehabil
 DURATION 2021
 EST LIFE 40

PRIORITY N/A
 LOCATION Collection System

REASON FOR CLASS N/A

GENERAL COMMENTS 20SOM_CS_NS_0003

RELATIONSHIP TO OTHER PROJECTS N/A

ROI N/A

COORDINATING AGENCIES N/A

ROI DESCRIPTION N/A

PLAN OR STUDY N/A

LINKS & LEVERAGES DESCRIPTION N/A

RELATIONSHIP TO PLAN N/A

CREATED 1/0/1900
 REQUEST 12/5/2018
 MODIFIED 1/28/2019

CONTACT EMAIL Thomas Prag
tprag@cityoftulsa.org

DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

31

PROJECT

Coal Creek Rehabilitation

PURPOSE

As a follow-up to planned capacity enhancements, provide I/I abatement for Coal Creek drainage basin in the 30-N, 93-N, 16-N, 99-N and 94-N maintenance areas. The project includes, pre- and post-rehab flow monitoring, hydraulic modeling, SSES, design, and construction. Existing, defective pipes in the area will be replaced or rehabilitated with construction that may be performed using pipe bursting, lining, or open cut as all are acceptable installation methods. Manhole defects will also be rehabilitated along with private sector defect recommendations provided to remove rain derived inflow and infiltration.

CLASS | Regulatory
DURATION | 2021
EST LIFE | 40

PRIORITY | N/A
LOCATION | Collection System

REASON FOR CLASS

N/A

GENERAL COMMENTS

20SOM_CS_NS_0004

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

N/A

ROI DESCRIPTION

N/A

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

Thomas Prag
tprag@cityoftulsa.org

5.44

DEPARTMENT
CATEGORY

Public Works
Sewer

PROJECT

Force Main Condition Assessment

PURPOSE

The scope of this BCE is to develop an asset management plan in FY19 to perform future, annual condition assessment on collection system force mains based on criticality. Over 60 miles of force main are currently operated and maintained by SOM and WPC.

CLASS
DURATION
EST LIFE

acement/Rehabil
2020
40

PRIORITY
LOCATION

N/A
Collection System

REASON FOR
CLASS

N/A

GENERAL
COMMENTS

20SOM_CS_AW_0002

RELATIONSHIP
TO OTHER
PROJECTS

N/A

ROI

N/A

COORDINATING
AGENCIES

N/A

ROI
DESCRIPTION

N/A

PLAN
OR STUDY

N/A

LINKS &
LEVERAGES
DESCRIPTION

N/A

RELATIONSHIP
TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/5/2018
1/28/2019

CONTACT
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Thomas Prag
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DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

33

PROJECT

Haikey Creek Interceptor Rehab

PURPOSE

The Haikey Creek Interceptor begins upstream along E. 87th Street east of S. Memorial Drive and ends downstream at the Haikey Creek Lift Station in the Park near E. 116th Street just east of Garnett Road. The scope is to line 5,324 LF of RCP pipe with cured in place pipe (CIPP), or other City approved material, and also rehabilitate four (4) manhole structures. It is anticipated that design and construction will occur in a single phase.

CLASS | cement/Rehabil
DURATION | 2022
EST LIFE | 40

PRIORITY | N/A
LOCATION | Collection System

REASON FOR CLASS

N/A

GENERAL COMMENTS

20SOM_CS_SS_0002

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

N/A

ROI DESCRIPTION

N/A

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

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5.46

DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

PROJECT

Interceptor Condition Assessment

PURPOSE

The scope of this BCE is to develop an asset management plan (AMP) in FY19 to perform condition assessment on the remaining 323,000 LF of large diameter concrete inteceptor based on criticality. This AMP will also include goals and procedures for future condition assessment of the remaining gravity pipe materials in the collection system for diameters larger than or equal to 18-inches.

CLASS | cement/Rehabil
DURATION | 2020
EST LIFE | 40

PRIORITY | N/A
LOCATION | Collection System

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20SOM_CS_AW_0001

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

CONTACT | Thomas Prag
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DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

35

PROJECT | **Mingo FEB Concrete/Structural Repair**

PURPOSE | A Condition (Physical) Assessment of Mingo FEB was authorized by ES 2017-04 Notice to Proceed dated January 18, 2018 to identify and quantify basin and structural system repairs with a concentration on concrete and asphalt repair improvements to schedule funding sequence to produce bid plans and specifications necessary to competitively bid said improvements to restore Mingo FEB to its original condition. Condition Assessment recommendations, conclusions, and costs contained in 2018 Keithline Engineering Phase 1 Condition Assessment Report - Flow Equalization Basin Joint and Crack Repairs, ES 2017-04. Electrical, conveyance, support, and mechanical condition assessment not included. Other system assessments and parameter improvements were not part of this project.

CLASS | cement/Rehabil
DURATION | 2027
EST LIFE | 20

PRIORITY | N/A
LOCATION | Northside

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20WPC_NS_0005

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

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5.48'

DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

36

PROJECT | **Northside FEB Concrete/Structural Repair**

PURPOSE | A Condition (Physical) Assessment of Northside FEB was authorized by ES 2017-04 with Notice to Proceed dated January 18, 2018 to identify and quantify basin and structural system repairs with the concentration of the concrete and asphalt surface improvements to schedule funding sequence to produce bid plans and specifications necessary to competitively bid said improvements to restore Northside FEB to its original designed physical conditions. Condition Assessment recommendations, conclusions, and costs contained in 2018 Keithline Engineering Phase 1 Condition Assessment Report - Flow Equalization Basin Joint and Crack Repairs, ES 2017-04. Electrical, conveyance, support, and mechanical system condition assessments were not included. Other system assessments and parameter improvements were not part of this project.

CLASS | cement/Rehabil
DURATION | 2023
EST LIFE | 20

PRIORITY | N/A
LOCATION | Northside

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20WPC_NS_0002

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

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549

DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

37

PROJECT

Northside Interceptor Improvements

PURPOSE

The interceptor starts at Interceptor Lift Station (No. 5) at the downstream and the study ended at MH 101-0004 at the upstream. 12,025 LF of 66-inch reinforced concrete pipe (RCP) pipe was assessed and 10,943 LF of 60-inch RCP was assessed. The scope is to line 6,831 LF of RCP with cured in place pipe (CIPP), centrifugally cast fiberglass reinforced polymer mortar (CCFRPM) pipe, or other City approved material, externally pressure grout three (3) pipe joints, and perform heavy cleaning if necessary. It is anticipated that design and construction will occur in two (2) phases - one for 66-inch and one for 60-inch rehabilitation.

CLASS | cement/Rehabil
DURATION | 2023
EST LIFE | 40

PRIORITY | N/A
LOCATION | Collection System

REASON FOR CLASS

N/A

GENERAL COMMENTS

20SOM_CS_NS_0001

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

N/A

ROI DESCRIPTION

N/A

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

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5.50

DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

38

PROJECT | **Northside WWTP 13.2kv (Main) Switchgear**

PURPOSE | Replace the main incoming switchgear (13.2kv) and related loop switches and transformers in order to enhance reliability and upgrade equipment that is nearing the end of its useful service life. The project will involve replacing the main switchgear and related loop switches and transformers.

CLASS | cement/Rehabil
DURATION | 2024
EST LIFE | 25

PRIORITY | N/A
LOCATION | Northside

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20WPC_NS_0001

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

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5.51

3
CATEGORY

Public Works
Sewer

39

PROJECT

SE Basin West Leg Interceptor Rehab

PURPOSE

The 48-inch prestressed concrete cylinder pipe (PCCP) interceptor starts at MH 122-0035 at the downstream and ends upstream at MH 126-0052 as a 36-inch PCCP pipe for a total length of 18,269 LF and 31 manhole structures. The scope is to line the PCCP pipe with centrifugally cast fiberglass reinforced polymer mortar (CCFRPM) pipe, or other City-approved material, perform one (1) point repair, and also rehabilitate all of the manhole structures due to corrosion. It is anticipated that design and construction will occur in three (3) phases.

CLASS
DURATION
EST LIFE

icement/Rehabil
2020
40

PRIORITY
LOCATION

N/A
Collection System

REASON FOR
CLASS

N/A

GENERAL
COMMENTS

20SOM_CS_SS_0001

RELATIONSHIP
TO OTHER
PROJECTS

N/A

ROI

N/A

COORDINATING
AGENCIES

N/A

ROI
DESCRIPTION

N/A

PLAN
OR STUDY

N/A

LINKS &
LEVERAGES
DESCRIPTION

N/A

RELATIONSHIP
TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/5/2018
1/28/2019

CONTACT
EMAIL

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5.52

DEPARTMENT **Public Works**
CATEGORY **Sewer**

40

PROJECT

Upper Joe Creek - East Branch

PURPOSE

The project consists of a multi-year rehab and replacement project in the Upper Joe Creek - East Branch basin of the Southslope wastewater collection system. The project includes, pre- and post-rehab flow monitoring, hydraulic modeling, SSES, design, and construction. Construction activities will include a mix of rehabilitation and capacity enhancements, depending on solutions that are determined to be most cost-effective during the flow monitoring and modeling phase of the project. The I&I Abatement target for the basin is a 50% reduction in peak flow. The Upper Joe Creek - East Branch basin is defined as the collection system that is monitored by permanent flow monitor TL-11/43. It contains 265,000 linear feet of pipe and encompasses maintenance areas 64-S, 65-S, and 69-S.

CLASS
DURATION
EST LIFE

Regulatory
2025
40

PRIORITY
LOCATION

N/A
Collection System

REASON FOR CLASS

N/A

GENERAL COMMENTS

20SOM_CS_SS_0006

RELATIONSHIP TO OTHER PROJECTS

N/A

COORDINATING AGENCIES

N/A

PLAN OR STUDY

N/A

RELATIONSHIP TO PLAN

N/A

ROI

N/A

ROI DESCRIPTION

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/5/2018
1/28/2019

CONTACT
EMAIL

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5.53

DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

41

PROJECT

Upper Joe Creek - West Branch

PURPOSE

The project consists of a multi-year rehab and replacement project in the Upper Joe Creek basin of the Southslope wastewater collection system. The project includes, pre- and post-rehab flow monitoring, hydraulic modeling, SSES, design, and construction. Construction activities will include a mix of rehabilitation and capacity enhancements, depending on solutions that are determined to be most cost-effective during the flow monitoring and modeling phase of the project. The I&I Abatement target for the basin is a 25% reduction. The Upper Joe Creek - West Branch basin is defined as the collection system that is monitored by permanent flow monitors TL-21 and TL-46, jointly. It contains 239,000 linear feet of pipe and encompasses maintenance areas 66-S and 68-S.

CLASS | cement/Rehabil
DURATION | 2021
EST LIFE | 40

PRIORITY | N/A
LOCATION | Collection System

REASON FOR CLASS

N/A

GENERAL COMMENTS

20SOM_CS_SS_0005

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

N/A

ROI DESCRIPTION

N/A

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

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5.54

DEPARTMENT | **Public Works**
CATEGORY | **Sewer**

42

PROJECT | **West Bank Lift Station Improvements**

PURPOSE | Includes major rehabilitation and/or replacement of the existing West Bank Lift Station. Rehabilitation scope identified in the TMUA Comp Assessment includes replacement of pumps and associated major equipment including grinders, gates valves, and the addition of air relief valves to address air locking. Comp Assessment also identified operator safety issues related to confined space entry requirements for daily inspection and maintenance of equipment. Conceptual report will evaluate rehabilitation and replacement alternatives.

CLASS | cement/Rehabil
DURATION | 2022
EST LIFE | 20

PRIORITY | N/A
LOCATION | Collection System

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20SOM_CS_SS_0004

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 12/5/2018
MODIFIED | 1/28/2019

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DEPARTMENT Public Works
CATEGORY Streets

43

PROJECT 129th E. Ave. - 36th St. N. to 46th St. N.

PURPOSE Widen existing two lane street to a four lane design section. Includes storm sewer improvements, and sanitary sewer improvements. This project will serve this growing commercial and industrial area of north Tulsa.

CLASS Replacement
DURATION 2 years
EST LIFE 30

PRIORITY High
LOCATION 129th East Avenue from 36th St. N. north to 46th St. N.

REASON FOR CLASS This project would serve the Amazon fulfillment center currently under construction between 36th St. N. and 46th St. N. west of 129th E. Ave., as well as other existing businesses in this area. Traffic safety and anticipated congestion would be mitigated, as well as stormwater drainage for the area. Sanitary sewer service would also be improved to the area.

GENERAL COMMENTS This project is addressing the anticipated increase in traffic that will occur when the Amazon facility is constructed.

RELATIONSHIP TO OTHER PROJECTS N/A

ROI 0

COORDINATING AGENCIES ODOT, ODEQ, FEMA

ROI DESCRIPTION N/A

PLAN OR STUDY None

LINKS & LEVERAGES DESCRIPTION N/A

RELATIONSHIP TO PLAN N/A

CREATED 1/0/1900
REQUEST 8/6/2018
MODIFIED 1/2/2019

CONTACT EMAIL Brent Stout / Michelle Barnett
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5.56

DEPARTMENT
CATEGORY

Public Works
Streets

PROJECT

36th St. N. and 129th E. Ave. Intersection Improvements

PURPOSE

Widen and improve existing two-lane roadway intersection at this location to the ultimate configuration of a 4-lane intersection with left turn lanes and traffic signals, as well as sidewalk and curb ramps where appropriate.

CLASS
DURATION
EST LIFE

Replacement
2 years
30

PRIORITY
LOCATION

High
Intersection located at 3600 N. 129th E. Avenue.

REASON FOR
CLASS

This intersection is in need of improvements to serve the anticipated increase in traffic volume that will occur with the new Amazon Fulfillment Center and the other business development that is currently ongoing in the area.

GENERAL
COMMENTS

This intersection improvement project should provide sufficient capacity for many years into the future. Sidewalk is not needed on the northeast corner of the intersection for the full extent of the project, as this is immediately adjacent to the quarry.

RELATIONSHIP
TO OTHER
PROJECTS

N/A

ROI

N/A

COORDINATING
AGENCIES

FEMA, ODEQ, ODOT

ROI
DESCRIPTION

N/A

PLAN
OR STUDY

None

LINKS &
LEVERAGES
DESCRIPTION

N/A

RELATIONSHIP
TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
8/9/2018
1/2/2019

CONTACT
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DEPARTMENT | **Public Works**
CATEGORY | **Streets**

45

PROJECT

Citywide Trails System Improvements

PURPOSE

The multi-use trail system has deteriorated over time and requires maintenance and rehabilitation to remain usable and remove safety hazards. The trails are intended to provide safe and healthy places to walk and ride bikes.

CLASS
DURATION
EST LIFE

Rehabilitation
at 3 miles of trail
15 to 20 years

PRIORITY
LOCATION

High
Citywide

REASON FOR CLASS

The existing trail system has an ongoing need for maintenance, rehabilitation and improvements to remain safe and usable for pedestrians and bicyclists and other users.

GENERAL COMMENTS

This project is intended to fund 3 miles of trail reconstruction per year over 5 years. The trail system is an important part of necessary capital investment for the City of Tulsa in order to maintain and grow the local economy by attracting new residents and businesses, and providing opportunities for improving the health of its citizens.

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

Engineering Services, Parks Department

ROI DESCRIPTION

The trail system in Tulsa has been recognized nationally in the past for its excellence. This is a resource that provides a significant return on investment in terms of economic growth by improving the attractiveness of the community, improving the overall health of the community, and

PLAN OR STUDY

The need for maintenance is spelled out in the TTMA Trails Master Plan. The Regional Bicycle and Pedestrian Master Plan, adopted as part of the City of Tulsa Comprehensive Plan, also documents the need for this trail system and its upkeep.

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
12/4/2018
1/2/2019

CONTACT
EMAIL

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5.58

PROJECT

23rd & Jackson Site Improvements

PURPOSE

The project consists of repair and compliance issues that are needed to make improvements for general accessibility and for ongoing building maintenance needs. ADA standards and Facility Maintenance issues are to be addressed in and around the 23rd & Jackson campus. The parking lot is in need of drainage, sub-base improvements, surface overlays, and lighting to meet the increasing and ongoing needs of this area. New fencing will be placed around the piping yard to maintain security. The existing emergency generator is at the end of its service life and needs more capacity to meet the increased demand at this campus. There are multiple critical customers support groups located here and some work around the clock. Because this is such an extensive lists of needs, the improvements will need to be thoroughly evaluated and prioritized.

CLASS **Concrete/Rehabil**
 DURATION **2020**
 EST LIFE **40**

PRIORITY **N/A**
 LOCATION **0**

REASON FOR CLASS

N/A

GENERAL COMMENTS

20WD_WS_0002

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI **N/A**

COORDINATING AGENCIES

N/A

ROI DESCRIPTION **N/A**

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION **N/A**

RELATIONSHIP TO PLAN

N/A

CREATED **1/0/1900**
 REQUEST **11/14/2018**
 MODIFIED **1/28/2019**

CONTACT EMAIL

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5.59

DEPARTMENT | Public Works
CATEGORY | Water

47

PROJECT | **AB Jewell Filter Gallery Pipe and Concrete Replacement**

PURPOSE | Provide improvements needed during maximum filter loading by identifying performance levels when seals begin to leak. Evaluate how and where water is flowing past piping seals during maximum filter loading and entering into the filter gallery. Project will need to determine the extent of damage done to the piping encased in the concrete walls and assess the structural integrity of these concrete walls. All facility piping and supports in the filter gallery are showing signs of rust and distress and will also need to be assessed.

CLASS | cement/Rehabil
DURATION | 2021
EST LIFE | 20

PRIORITY | N/A
LOCATION | AB Jewell

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20WS_ABJ_0002

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 11/14/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

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5.60

DEPARTMENT | **Public Works**
CATEGORY | **Water**

PROJECT

AB Jewell Site Improvements

PURPOSE

Projects will provide for improved security and added safety.
1). Install truck scales to improve the procedures for receiving bulk materials.
2). Reconfigure the entrance to plant to provide better security and flow of traffic.
3). Replace the "chemical trench" covers throughout the plant with a lighter weight material.

CLASS | Rehabilitation
DURATION | 2020
EST LIFE | 20

PRIORITY | N/A
LOCATION | AB Jewell

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20WS_ABJ_0001

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 11/14/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

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5.61

DEPARTMENT | **Public Works**
CATEGORY | **Water**

PROJECT | **HSPS Power Resilience Evaluation**

PURPOSE | Evaluate options which will make both, Mohawk and AB Jewell, water treatment plants (WTP) more resilient against failure in the event of a power loss from the two (2) PSO power sources to each WTP. These facilities depend wholly upon the PSO's for the electrical power. The intent of this study is to determine what methods are available and suitable to allow the plants to each produce a minimum of 30 MGD for an indefinite delivery period. Also, a look at "peaking" needs will be evaluated. Multi-option power sources from solar panels to emergency generators will be evaluated to compare the various performance metrics needed to operate these WTPs efficiently.

CLASS | Service Level
DURATION | 2020
EST LIFE | 20
PRIORITY | N/A
LOCATION | AB Jewell

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20WS_ABJ_0003

RELATIONSHIP TO OTHER PROJECTS N/A	ROI N/A
COORDINATING AGENCIES N/A	ROI DESCRIPTION N/A
PLAN OR STUDY N/A	LINKS & LEVERAGES DESCRIPTION N/A
RELATIONSHIP TO PLAN N/A	

CREATED | 1/0/1900
REQUEST | 11/14/2018
MODIFIED | 1/28/2019
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awilkins@cityoftulsa.org](mailto:Anthony.Wilkins@cityoftulsa.org)

5.62

DEPARTMENT | **Public Works**
CATEGORY | **Water**

PROJECT

Lead Service Line Inventory

PURPOSE

The project consists of a multi-year inspection of all water services to determine the service line material entering and exiting the meter can. The Oklahoma Department of Environmental Quality encourages all water systems to display a service line materials inventory to the public on the City of Tulsa webpage. The City of Tulsa has historically replaced lead services when we have encountered them, but Tulsa does not have a service line materials inventory. Due to limited resources in Water Distribution Systems, a project is needed for a contractor to identify and record service line material type for all water service accounts.

CLASS | **Regulatory**
DURATION | **2020**
EST LIFE | **40**

PRIORITY | **N/A**
LOCATION | **Water Services**

REASON FOR CLASS | **N/A**

GENERAL COMMENTS | **20WD_WS_0001**

RELATIONSHIP TO OTHER PROJECTS | **N/A**

ROI | **N/A**

COORDINATING AGENCIES | **N/A**

ROI DESCRIPTION | **N/A**

PLAN OR STUDY | **N/A**

LINKS & LEVERAGES DESCRIPTION | **N/A**

RELATIONSHIP TO PLAN | **N/A**

CREATED | **1/0/1900**
REQUEST | **11/14/2018**
MODIFIED | **1/28/2019**

CONTACT EMAIL

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DEPARTMENT | **Public Works**
CATEGORY | **Water**

51

PROJECT | **Raw Water Flowline Oologah Stabilization Repair**

PURPOSE | Provide protection of the existing " Oologah Raw Waterline (RWL) and the surrounding channel banks where it crosses through Bird Creek from continued scour and erosion. This RWL is experiencing underwater erosion and where it surfaces at the channel banks where there is extensive erosion occurring. due to the extensive erosion at the channel banks, more of the RWL is being exposed. The plan is to stabilize the banks and cover the RWL with a concrete cap and riprap the channel banks.

CLASS | cement/Rehabil
DURATION | 2020
EST LIFE | 40

PRIORITY | N/A
LOCATION | Raw Water

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20WS_RW_0002

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 11/14/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

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5.64

DEPARTMENT | **Public Works**
CATEGORY | **Water**

PROJECT | **Raw Water Flowline Repairs Oologah**

PURPOSE | This project will provide the equipment and personal to inspect and assess the condition of the Oologah Raw Waterlines. Various tools are available for gathering this necessary data to thoroughly evaluate the condition of the pipelines.

PURPOSE | The investigation will begin at the Oologah Pump Station and proceed to know areas of concern. Entry points will be identified along the flowlines which will be used to gain access to the pipelines.

The gathered data will be used to create assessment reports and help in the scheduling of repairs as needed.

CLASS | cement/Rehabil
DURATION | 2020
EST LIFE | 40

PRIORITY | N/A
LOCATION | Raw Water

REASON FOR CLASS | N/A

GENERAL COMMENTS | 20WS_RW_0001

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 1/0/1900
REQUEST | 11/14/2018
MODIFIED | 1/28/2019

CONTACT EMAIL

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5.65

PROJECT **Concrete Plant Site Acquisition**

PURPOSE To acquire the GCC Mid-Continent Concrete Company riverfront property. This acquisition would help assure the ongoing viability of park uses at the River West Festival Park which earn revenue for River Parks Authority, attract tourism, and add to Tulsa's quality of life. The Festival Park programs and related paid public parking provide significant earned revenues for River Parks Authority's annual operating costs. The provision of adequate patron parking for events is vital to the success of these outdoor activities. In addition, acquisition would open important new economic development opportunities on the riverfront in proximity to downtown and Gathering Place. This would also be an excellent site for an RPA Administrative office and maintenance facility.

CLASS Expansion
DURATION N/A
EST LIFE efinite; facilities

PRIORITY High
LOCATION On west bank of the Arkansas River, north of the 23rd street bridge and south of the Festival Park.

REASON FOR CLASS Based on the design concept of the recently-approved Eugene Field neighborhood HUD project, there will be a significant loss of public parking to serve River West Festival Park and the concurrent loss of tens of thousands of dollars in paid parking and other revenues from event patrons, funds which benefit River Parks' operations. Inadequate parking may also reduce overall attendance and non-parking revenues generated by Festival Park events. River Parks has long used a portion of West Tulsa Park to supply up to 1100 overflow parking spaces for large events. The 2015, \$7.6MM renovation of Festival Park with City 3rd Penny Sales Tax funds has resulted in new bookings for large community events such as Cinco de Mayo. The concrete plant property has long been targeted for a higher and better use to complement the multi-million dollar public and private investments made in Tulsa's riverfront. Redevelopment of this land should include a multi-story parking garage to serve public events on the river, as well as future private and/or public development. The \$22MM purchase price for the land was provided by Joe Westervelt, who has been working closely with the concrete plant's owners and operators to prepare the property for sale.

GENERAL COMMENTS Events in River Parks add to the community's quality of life. The value of Tulsa's riverfront as a community asset attracted Gathering Place, a privately-funded public park, to be centrally located on the east bank in the 31st and Riverside area. Gathering Place is owned by River Parks Authority and this world-class park is drawing visitors from across the region and the nation. The park has far exceeded all attendance projections and is becoming a Tulsa tourism focal point. Gathering Place will connect to River Parks' west bank via the planned Gateway Bridge, creating a natural flow of park visitors between both banks of the river. A multi-story parking facility on the west bank could meet Festival Park operations needs and potentially offer periodic overflow parking for the types of large-scale events envisioned for Gathering Place, and serve both Gathering Place and River Parks Authority for collaborative events utilizing park facilities on both sides of the Arkansas River.

RELATIONSHIP TO OTHER PROJECTS N/A

ROI N/A

COORDINATING AGENCIES Mayor's Office of Economic Development, INCOG, and Public Works

ROI DESCRIPTION N/A

PLAN OR STUDY Arkansas River Corridor Master Plan

LINKS & LEVERAGES DESCRIPTION N/A

RELATIONSHIP TO PLAN N/A

CREATED 1/0/1900
REQUEST 7/10/2018
MODIFIED 1/2/2019

CONTACT EMAIL mattmeyer@riverparks.org

5.66

DEPARTMENT River Parks Authority
CATEGORY -----

54

PROJECT Trail Expansion & Land Acquisition - Cousins Park to Sheridan Road

PURPOSE To acquire by fee simple and/or public access easements property for a trail corridor between Cousins Park, southeast to Sheridan Road, plus acquire approximately 15 acres of land for development of future trail-related park amenities such as parking and restroom facilities. Trail construction; 2.5 miles @ \$1.6MM/mile.

CLASS Expansion
DURATION 2 years
EST LIFE infinite; facilities

PRIORITY Medium
LOCATION East bank of the Arkansas River from Cousins Park southeast to Sheridan Road.

REASON FOR CLASS The city-wide Trails Master Plan calls for extending the River Parks recreational trail south to Sheridan Road and the Arkansas River. This area of the city lacks public park and recreational facilities. Land must be acquired before it is acquired for private development and the opportunity to fulfill the Trails Master Plan vision is lost.

GENERAL COMMENTS Continued growth of residential and commercial properties in this part of the city should be complemented by public facilities to serve area residents.

RELATIONSHIP TO OTHER PROJECTS N/A

ROI N/A

COORDINATING AGENCIES Public Works Dept., City Parks

ROI DESCRIPTION N/A

PLAN OR STUDY Tulsa Metro Trails Master Plan

LINKS & LEVERAGES DESCRIPTION N/A

RELATIONSHIP TO PLAN N/A

CREATED 1/0/1900
REQUEST 7/10/2018
MODIFIED 1/2/2019

CONTACT EMAIL Matt Meyer, Michael Crumb
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5.67

DEPARTMENT
CATEGORY

River Parks Authority

55

PROJECT

Turkey Mountain Urban Wilderness Improvements

PURPOSE

Implement the first phase of improvements recommended by a pending Turkey Mountain Urban Wilderness Master Plan.

CLASS
DURATION

Expansion

PRIORITY

High

EST LIFE

Land- indefinite

LOCATION

The Master Plan is expected to cover an area bounded by the Arkansas River on the east, I-44 on the north, Highway 75 on the west, and west 71st street on the south.

REASON FOR
CLASS

Adequate parking has long been a challenge for the Wilderness and park visitors' heavy usage of the dirt trails results in ongoing erosion problems. These needs would be addressed through this funding, along with funding other park amenities identified in the pending Master Plan. Turkey Mountain usage rivals that of other popular areas of the River Parks system. With ownership of Turkey Mountain land now consolidated under the direction of River Parks Authority, a Turkey Mountain Master Plan is being funded by the George Kaiser Family Foundation to identify outdoor recreational uses and related support facilities such as restrooms and parking. In addition, the Master Plan is expected to address protections needed to perpetuate the Wilderness' urban forest, dirt trail system and other natural amenities. When the Master Plan is complete, implementation of proposed improvements will be an expectation of the public, using \$2MM of voter-approved 2016 Vision funds. Timing of Vision's tax collections to meet the \$2MM obligation is not presently known. There is good potential for matching private funds for such implementation and these public dollars will focus on infrastructure items and outdoor attractions in the Master Plan.

GENERAL
COMMENTS

Since the inception of the Turkey Mountain Urban Wilderness, the manpower and resources devoted to maintaining the property have been largely the result of community volunteers, supplemented by River Parks' staff and operating funds. With the expanded footprint of the Wilderness, thanks to the City of Tulsa, the George Kaiser Family Foundation, and voter-approved land acquisition funding, a greater level of maintenance will be necessary to assure a safe recreational experience in the already heavily-used park. Cost estimates include: Trail Reconstruction and Maintenance--\$1,500,000, Parking Lots and Access Points--\$3,500,000, and Outdoor Adventure Attractions to be identified in the pending Master Plan--\$5,000,000. As with all our estimates, the numbers also include design and construction inspection fees, a contingency, and time value for the money.

RELATIONSHIP
TO OTHER
PROJECTS

N/A

ROI

N/A

COORDINATING
AGENCIES

GKFF, West Side YMCA, TUWC, and City of Tulsa.

ROI
DESCRIPTION

N/A

PLAN
OR STUDY

Arkansas River Corridor Master Plan; future Turkey Mountain Master Plan

LINKS &
LEVERAGES
DESCRIPTION

N/A

RELATIONSHIP
TO PLAN

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
7/10/2018
1/2/2019

CONTACT
EMAIL

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mattmeyer@riverparks.org

5.68

PROJECT

Destination Districts

PURPOSE

Consistent with PLANITULSA recommendations and AIM Plan strategies, the Destination Districts program will support new growth and regrowth in targeted, previously developed areas without substantially adding to Tulsa's infrastructure burden. Capital projects associated with this program will include installing pedestrian-oriented streetscaping along Main Streets and Mixed Use Corridors, and infrastructure that will support retrofits of severely underutilized or defunct Neighborhood, Town, and Regional Centers. The project will also support place management.

CLASS
DURATION
EST LIFE

Expansion
5
20

PRIORITY
LOCATION

Medium
Citywide

REASON FOR CLASS

N/A

GENERAL COMMENTS

N/A

RELATIONSHIP TO OTHER PROJECTS

N/A

COORDINATING AGENCIES

N/A

PLAN OR STUDY

Various Small Area Plans

RELATIONSHIP TO PLAN

N/A

ROI

N/A

ROI DESCRIPTION

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

CREATED
REQUEST
MODIFIED

1/0/1900
1/0/1900
1/0/1900

CONTACT EMAIL

N/A
N/A

DEPARTMENT | **Planning**
CATEGORY | ----

Unity Heritage Gateways

PROJECT

PURPOSE

Match DCC resources to Improve underpasses at Main Street, Martin Luther King Jr. Boulevard, Detroit Avenue, and Greenwood Avenue as priority connections to Downtown Tulsa and the neighborhoods through enhanced signage, lighting, and urban design.

CLASS
DURATION
EST LIFE

Rehabilitation
1
20

PRIORITY
LOCATION

Medium
Unity Heritage Area

REASON FOR CLASS

Improvement on existing assets.

GENERAL COMMENTS

N/A

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

INCOG

ROI DESCRIPTION

N/A

PLAN OR STUDY

Unity Heritage Small Area Plan

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED
REQUEST
MODIFIED

3/12/2019
3/12/2019
3/12/2019

CONTACT
EMAIL

Nick Doctor
NDoctor@cityoftulsa.org

DEPARTMENT | **Planning**
CATEGORY | ----

58

PROJECT

Charles Page Blvd Reconfiguration

PURPOSE

Restripe Charles Page Blvd to include bike lanes and pedestrian crossings from Houston Ave to N 25th West Avenue, where it will connect to a current IOT project.

CLASS | Rehabilitation
DURATION | 1
EST LIFE | 20

PRIORITY | Medium
LOCATION | Charles Page Blvd

REASON FOR CLASS

Improvements to existing assets.

GENERAL COMMENTS

N/A

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

ENG

ROI DESCRIPTION

N/A

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED | 3/12/2019
REQUEST | 3/12/2019
MODIFIED | 3/12/2019

CONTACT EMAIL

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5.71

DEPARTMENT | **Planning**
CATEGORY | ----

PROJECT | **Arena District Master Plan Implementation - Civic Center Improvements**

PURPOSE | Civic Center plaza improvements including enhancement of the Cox Business Center user experience by creating promenade from entry to east side of 5th Street and Denver Ave.

CLASS | Rehabilitation
DURATION | 1
EST LIFE | 20

PRIORITY | Medium
LOCATION | Tulsa Convention Center

REASON FOR CLASS | Improvements on existing assets.

GENERAL COMMENTS | N/A

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 3/12/2019
REQUEST | 3/12/2019
MODIFIED | 3/12/2019

CONTACT EMAIL

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DEPARTMENT | **Planning**
CATEGORY | ----

PROJECT | **Crosbie Heights Underpass Improvements**

PURPOSE | Improve underpasses into Crosbie Heights neighborhood to create safe gateways.

CLASS | Rehabilitation
DURATION | 1
EST LIFE | 20

PRIORITY | Medium
LOCATION | Crosbie Heights

REASON FOR CLASS | Improvements to existing assets.

GENERAL COMMENTS | N/A

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 3/12/2019
REQUEST | 3/12/2019
MODIFIED | 3/12/2019

CONTACT EMAIL

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DEPARTMENT | **Planning**
CATEGORY | -----

PROJECT

WATCO Railroad Relocation

PURPOSE

Relocation of the WATCO Railroad line including possible leverage of CRISI Grant Funds – FRA Consolidated Rail Infrastructure and Safety Improvements for rail relocation.

CLASS
DURATION
EST LIFE

Expansion
2
50

PRIORITY
LOCATION

Medium
Unity Heritage Neighborhood

REASON FOR CLASS

Moving an existing asset.

GENERAL COMMENTS

N/A

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

N/A

ROI DESCRIPTION

N/A

PLAN OR STUDY

Unity Heritage Small Area Plan

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED
REQUEST
MODIFIED

3/12/2019
3/12/2019
3/12/2019

CONTACT EMAIL

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DEPARTMENT | **Planning**
CATEGORY | ----

PROJECT

Memorialize Black Wall Street

PURPOSE

Capital funds would be used to provide signage, monuments, and historic markers that will help foster placemaking and support the memorialization and resurgence of Black Wall Street.

CLASS | Expansion
DURATION | 1
EST LIFE | 20

PRIORITY | Medium
LOCATION | Greenwood area

REASON FOR CLASS | N/A

GENERAL COMMENTS | N/A

RELATIONSHIP TO OTHER PROJECTS | N/A

ROI | N/A

COORDINATING AGENCIES | N/A

ROI DESCRIPTION | N/A

PLAN OR STUDY | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

RELATIONSHIP TO PLAN | N/A

CREATED | 3/12/2019
REQUEST | 3/12/2019
MODIFIED | 3/12/2019

CONTACT EMAIL

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DEPARTMENT | **Planning**
CATEGORY | ----

PROJECT

Launch "City Hall on the Go"

PURPOSE

Outfit a vehicle to act as a mobile City Hall. Citizens across Tulsa have limited time, and some have limited transportation. These restrictions limit the public's knowledge of City services, and also make it difficult to pay bills, fines, and fees during regular hours of operation. To improve communication with constituents and enhance accessibility, the City of Tulsa will equip a van with necessary technology, tools, and departmental employees to act as a City Hall on-the-go. With the aid of a weekly schedule, City Hall on-the-go will visit high need areas of town in centrally located, convenient locations.

CLASS DURATION
EST LIFE

Expansion
1
5

PRIORITY
LOCATION

Low
Citywide

REASON FOR CLASS

N/A

GENERAL COMMENTS

N/A

RELATIONSHIP TO OTHER PROJECTS

N/A

COORDINATING AGENCIES

N/A

PLAN OR STUDY

N/A

RELATIONSHIP TO PLAN

N/A

ROI

N/A

ROI DESCRIPTION

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

CREATED
REQUEST
MODIFIED

3/12/2019
3/12/2019
3/12/2019

CONTACT
EMAIL

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DEPARTMENT || **Planning**
CATEGORY || ----

PROJECT || **Neighborhood Action Plan Development and Implementation**

PURPOSE

Expand Neighborhood Action Plans to address community needs and request more effectively. The Planning Department will expand its Neighborhood Action Plan program and complete eight assessments over the next two years to meet and address immediate needs and requests within communities awaiting the implementation of Small Area Plans. Funds would support projects through the implementation of plans and assessments conducted in vulnerable neighborhoods.

CLASS || New
DURATION || 2
EST LIFE || 2

PRIORITY || Medium
LOCATION || Citywide

REASON FOR CLASS || N/A

GENERAL COMMENTS || N/A

RELATIONSHIP TO OTHER PROJECTS || N/A

ROI || N/A

COORDINATING AGENCIES || N/A

ROI DESCRIPTION || N/A

PLAN OR STUDY || N/A

LINKS & LEVERAGES DESCRIPTION || N/A

RELATIONSHIP TO PLAN || N/A

CREATED || 3/12/2019
REQUEST || 3/12/2019
MODIFIED || 3/12/2019

CONTACT EMAIL

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DEPARTMENT | **Planning**
CATEGORY | ----

65

PROJECT

Healthy Places Initiative

PURPOSE

Accelerate coordinated investments to address housing affordability, placemaking, walkability, transit access, food access, crime, and economic and workforce development in high-needs neighborhoods through the Healthy Places pilot program. In collaboration with neighborhood communities, the City will create and implement a plan over the coming year and then will work interdepartmentally to launch additional after school programming, opportunities for owners to rehabilitate their homes, appropriately incentivized development, and funding specific to the area to meet community needs. Outcomes of additional resources and development will be measured through surveys and tracking of health improvements every 6 months to establish the impact on the community. Funds would be use to match grant and private funding.

CLASS | Expansion
DURATION | 5
EST LIFE | 5

PRIORITY | Medium
LOCATION | Citywide

REASON FOR CLASS

Accelerate coordinated investments to address housing affordability, placemaking, walkability, transit access, food access, crime, and economic and workforce development in high-needs neighborhoods through the Healthy Places pilot program. In collaboration with neighborhood communities, the City will create and implement a plan over the coming year and then will work interdepartmentally to launch additional after school programming, opportunities for owners to rehabilitate their homes, appropriately incentivized development, and funding specific to the area to meet community needs. Outcomes of additional resources and development will be measured through surveys and tracking of health improvements every 6 months to establish the impact on the community. Funds would be use to match grant and private funding.

GENERAL COMMENTS

N/A

RELATIONSHIP TO OTHER PROJECTS

N/A

ROI

N/A

COORDINATING AGENCIES

N/A

ROI DESCRIPTION

N/A

PLAN OR STUDY

N/A

LINKS & LEVERAGES DESCRIPTION

N/A

RELATIONSHIP TO PLAN

N/A

CREATED | 3/12/2019
REQUEST | 3/12/2019
MODIFIED | 3/12/2019

CONTACT EMAIL

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5.78

DEPARTMENT | **Planning**
CATEGORY | ----

PROJECT | **Establish an Innovation District and Prototyping Zone**

PURPOSE | Authorize an Innovation District and Prototyping Zone. The City will establish an innovation district to leverage the expertise of Tulsa's major employers, entrepreneurs, and academic community to enhance and further research and development in Tulsa. Tulsa has an entrepreneurial spirit and is a manufacturing, aerospace, and transportation hub. To maximize this and strengthen its place in the regional economy, the City will permanently dedicate space to innovation. This specialized district will encourage local innovation in distribution technologies, and the City will formally dedicate a section of the city as a "prototyping zone" in which restrictions on driving and flying equipment are relaxed while ensuring public safety.

CLASS | New
DURATION | 1
EST LIFE | 10

PRIORITY | Low
LOCATION | Citywide

REASON FOR CLASS | N/A

GENERAL COMMENTS | N/A

RELATIONSHIP TO OTHER PROJECTS | N/A

COORDINATING AGENCIES | N/A

PLAN OR STUDY | N/A

RELATIONSHIP TO PLAN | N/A

ROI | N/A

ROI DESCRIPTION | N/A

LINKS & LEVERAGES DESCRIPTION | N/A

CREATED | 3/12/2019
REQUEST | 3/12/2019
MODIFIED | 3/12/2019

CONTACT EMAIL

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5.79

Prepared by Nathan Foster, nfoster@incog.org, 918.579.9481

Item

Consider amendments to the Tulsa Zoning Code, Title 42 Tulsa Revised Ordinances, to provide for principal and accessory short-term rental uses, to identify zoning districts in which such uses are permitted, and to establish supplemental use regulations for such uses.

Background

Over the past few years, the City of Tulsa has seen a significant increase in residential properties being rented on a short-term basis. Typically, the residence is marketed through an online platform, such as AirBnB or VRBO (Vacation Rental by Owner), and accommodates guests for periods of time less than 30 days.

The City of Tulsa Zoning Code currently classifies any property being rented for less than 30 days as "Lodging". Within the "Lodging" use category there are a number of subcategories such as hotels, campgrounds, and bed and breakfasts. The current City interpretation is that all short-term rentals shall be classified as bed and breakfasts. Bed and breakfasts require special exception approval by the City Board of Adjustment (BOA) when they are situated in residentially zoned areas.

Short-term rentals come in a variety of forms that the current zoning code language does not address. The intent of this amendment would be to provide clarification as to how short-term rentals are classified and to apply additional regulations and requirements for property owners who wish to operate within residential areas. In the past couple of years, there have been multiple cases presented to the BOA for this use. Of those cases, 16 were approved, 6 were denied and 5 were withdrawn. Due to the controversial nature of some of these cases, Councilors Ben Kimbro (District 9) and Blake Ewing (District 4) organized and held Town Hall meetings on October 10, 2017 and October 11, 2017. Following the Town Hall meetings, staff at INCOG and across City departments started researching best practices and discussing technical details of a potential short term rental program for the City of Tulsa.

The Tulsa City Council officially initiated the process to amend the zoning ordinance on August 29, 2018. Since initiation, a working group comprised of representatives from the Tulsa Planning Office, City Legal, and the Mayor's office was formed to discuss and draft a proposal. Additional meetings were held with representatives from Working in Neighborhoods (Inspections), Development Services (Permits), and Finance (Licensing). Councilor Kara Joy McKee (District 4) held a Town Hall meeting on January 12, 2019 at Central Center to solicit feedback and discuss the proposal.

A draft ordinance has been developed through meetings with the working group and refined following input from the public meetings and other stakeholders. The proposal would establish 2 types of short-term rentals:

1. Accessory Use Short-Term Rentals
2. Principal Use Short-Term Rentals

Short-term rentals would be classified as accessory when the principal use of the lot will remain a residence and the occupants of that residence would be renting their own home or part of their home to a single party of guests on a short-term basis. The current proposal would permit accessory use short-term rentals by right without a public hearing.

Short-term rentals would be classified as a principal use if the owner intends to list the property full-time as a short-term rental and has no intention of having actual residents living in the property. Under the current draft, a principal use short-term rental would still be required to obtain approval by the City of Tulsa Board of Adjustment. That process would include notification to neighbors within 300' of the proposal, a sign placed on the property in advance of the meeting, and a publication in the newspaper regarding the proposal.

Both classifications of the use would be required to obtain a license from the City of Tulsa in order to legally operate. The proposed license would be required to be renewed each year and hosts would be required to provide certain information to the City of Tulsa. The licensing process would determine whether the proposed short-term rental will be principal or accessory and will require a local contact for the property who can be contacted in case of violations.

Staff Recommendation

Approval of the proposed amendments to Tulsa Zoning Code as shown in Attachment I

Explanation for Continuance

Staff recommendation was presented at the general meeting of the Tulsa Metropolitan Area Planning Commission on March 21, 2019. At that time, Planning Commissioners requested two changes to proposed zoning code language pertaining to Short-Term Rentals:

1. Staff recommendation only permitted short-term rental units to be rented to one "party of guests" at one time. The amendment increases allowable parties of guests to 4 with a maximum allowance of 8 individuals at any one time. For example, a short-term rental could be rented to 4 separate parties of 2 guests.
2. Staff recommendation required special exception approval for principal use short-term rental units located within residential zoning districts. The amendment would permit principal use short-term rental units by right without the need for a public hearing and neighborhood engagement.

Requested amendments are attached as "Attachment II"

Attachment I

Chapter 5 – Residential Districts

Section 5.020, Table 5-2: R District Use Regulations

USE CATEGORY	RE	RS-					RD	RT	RM-				RMH	Supplemental Regulations	
Subcategory Specific use		1	2	3	4	5			0	1	2	3			
COMMERCIAL															
Lodging															
<u>Short-term rental</u>															
		<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	Section 40.375

Chapter 10 – Mixed-use Districts

Table 10 2: MX District Use Regulations

USE CATEGORY	MX1	MX2	MX3	Supplemental Regulations
Subcategory Specific use				
Lodging				
Bed & breakfast	S	<u>S-P</u>	<u>S-P</u>	Section 40.060
<u>Short-term rental</u>	<u>S</u>	<u>P</u>	<u>P</u>	Section 40.375
Hotel/motel	-	P	P	Section 40.170

Chapter 15 – Office, Commercial, and Industrial Districts

Section 15.020, Table 15-2: O, C and I District Use Regulations, page 15-3

USE CATEGORY	OL	OM	OMH	OH	CS	CG	CH	CBD	IL	IM	IH	Supplemental Regulations
Subcategory Specific use												
COMMERCIAL												
Lodging												
Bed & Breakfast	S	S	S	S	<u>S-P</u>	<u>S-P</u>	<u>S-P</u>	<u>S-P</u>	S	S	S	Section 40.060
<u>Short-Term Rental</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>S</u>	<u>S</u>	<u>S</u>	Section 40.375

Chapter 25 – Special Districts

Section 25.020, Table 25-1: AG District Use Regulations

USE CATEGORY	AG	Supplemental Use Regulations
Subcategory Specific use		
COMMERCIAL		
Lodging		
<u>Short-term Rental</u>		
	<u>S</u>	Section 40.375

Chapter 35 – Building Types and Use Categories

35.050-G Lodging

Uses that provide temporary lodging for less than 30 days where rents are charged by the day or by the week. Lodging uses sometimes provide food or entertainment, primarily to registered guests. Examples of specific lodging use types include:

1. Bed and Breakfast

~~A detached house~~ An establishment in which the owner/operator offers overnight accommodations and meal service to guests for compensation. A bed and breakfast may serve meals to guests and concurrently rent rooms to more than one party of guests. Subject to the supplemental use regulations, a bed and breakfast may be rented for on-site events.

2. Hotel/Motel

An establishment, other than a bed and breakfast, short-term rental or rural retreat, in which temporary lodging is offered for compensation. A hotel/motel use may include an accessory bar.

3. Recreational Vehicle Park/ Campground

An establishment that provides temporary overnight accommodations for camping in recreational vehicles or tents.

4. Rural Retreat

An establishment that is part of a working farm or ranch that provides temporary overnight accommodations for individuals or groups engaged in supervised training or personal improvement activities. Examples include corporate retreat facilities, educational facilities and dude ranches or working farm learning centers.

5. Short-Term Rental

A dwelling unit, or a portion thereof, in which temporary lodging is offered for compensation to one party of guests. For purposes of this section, "party of guests" shall mean an individual or group renting or seeking to rent the entirety of the short-term rental. Short-Term Rentals can be principal or accessory uses.

Chapter 40 – Supplemental Use and Building Regulations

40.375 Short-Term Rental

The supplemental use regulations of this section apply to all principal use short-term rentals.

40.375-A When occupied by a party of guests, the short-term rental shall not be separately rented to any other individual or party of guests.

40.375-B A short-term rental must comply with all licensing requirements of the City of Tulsa and an approved license number must be included with any material advertising the short-term rental.

40.375-C Events are not permitted in conjunction with a short-term rental use. Examples of events include, but are not limited to, weddings, receptions, anniversaries, private parties, and business seminars.

40.375-D A register of short-term rental guests must be maintained and made available to city code enforcement upon request.

40.375-E External structural alterations or site improvements that change the residential character of the lot upon which a short-term rental is located are prohibited. Examples of such prohibited alterations include, but are not limited to, the construction of a parking lot, the addition of commercial-like exterior lighting, and signage.

40.375-F No recreational vehicle, bus, or trailer shall be parked on a residential street in conjunction with a short-term rental use. A recreational vehicle, bus or trailer may be parked on the property if not visible from the street.

45.185 Short-Term Rental - Accessory

45.185-A Description

The rental of all or a portion of a dwelling unit, which is the primary residence of a household, to one party of guests for temporary lodging for a period of less than 30 consecutive days. For purposes of this section, "party of guests" shall mean an individual or group renting or seeking to rent the entirety of the short-term rental.

45.185-B General

The supplemental use regulations of this section apply to all accessory use short-term rentals.

1. When occupied by a party of guests, the short-term rental shall not be separately rented to any other individual or party of guests.

2. An accessory short-term rental must comply with all licensing requirements of the City of Tulsa and an approved license number must be included with any material advertising the short-term rental.
3. An accessory short-term rental may only be rented to one party of guests at any one time and may not exceed more than eight (8) individuals in the dwelling unit.
4. A register of short-term rental guests must be maintained and made available to city code enforcement upon request.
5. On-site events are not permitted in conjunction with an accessory short-term rental. Examples of on-site events include but are not limited to weddings, receptions, anniversaries, private parties, banquets, and business seminars.
6. External structural alterations or site improvements that change the residential character of the lot upon which an accessory short-term rental is located are prohibited. Examples of such prohibited alterations include the construction of a parking lot, the addition of commercial-like exterior lighting, and signage.
7. No recreational vehicle, bus, or trailer shall be parked on a residential street in conjunction with a short-term rental use. A recreational vehicle, bus or trailer may be parked on the property if not visible from the street.

Attachment II – Amendments requested by TMAPC

Chapter 5 – Residential Districts

Section 5.020, Table 5-2: R District Use Regulations

USE CATEGORY	RS-					RD	RT	RM-				RMH	Supplemental Regulations	
Subcategory Specific use	RE	1	2	3	4	5			0	1	2	3		
COMMERCIAL														
Lodging														
<u>Short-term rental</u>	P	P	P	P	P	P	P	P	P	P	P	P	P	Section 40.375

Chapter 10 – Mixed-use Districts

Table 10 2: MX District Use Regulations

USE CATEGORY	MX1	MX2	MX3	Supplemental Regulations
Lodging				
Bed & breakfast	S	<u>S-P</u>	<u>S-P</u>	Section 40.060
<u>Short-term rental</u>	<u>S</u>	<u>P</u>	<u>P</u>	Section 40.375
Hotel/motel	-	P	P	Section 40.170

Chapter 15 – Office, Commercial, and Industrial Districts

Section 15.020, Table 15-2: O, C and I District Use Regulations, page 15-3

USE CATEGORY	OL	OM	OMH	OH	CS	CG	CH	CBD	IL	IM	IH	Supplemental Regulations
Lodging												
Bed & Breakfast	S	S	S	S	<u>S-P</u>	<u>S-P</u>	<u>S-P</u>	<u>S-P</u>	S	S	S	Section 40.060
<u>Short-Term Rental</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>S</u>	<u>S</u>	<u>S</u>	Section 40.375

Chapter 25 – Special Districts

Section 25.020, Table 25-1: AG District Use Regulations

USE CATEGORY	AG	Supplemental Use Regulations
Lodging		
<u>Short-term Rental</u>	<u>P</u>	Section 40.375

Chapter 35 – Building Types and Use Categories

35.050-G Lodging

Uses that provide temporary lodging for less than 30 days where rents are charged by the day or by the week. Lodging uses sometimes provide food or entertainment, primarily to registered guests. Examples of specific lodging use types include:

6. Bed and Breakfast

~~A detached house~~ An establishment in which the owner/operator offers overnight accommodations and meal service to guests for compensation. A bed and breakfast may serve meals to guests and concurrently rent rooms to more than one party of guests. Subject to the supplemental use regulations, a bed and breakfast may be rented for on-site events.

7. Hotel/Motel

An establishment, other than a bed and breakfast, short-term rental or rural retreat, in which temporary lodging is offered for compensation. A hotel/motel use may include an accessory bar.

8. Recreational Vehicle Park/ Campground

An establishment that provides temporary overnight accommodations for camping in recreational vehicles or tents.

9. Rural Retreat

An establishment that is part of a working farm or ranch that provides temporary overnight accommodations for individuals or groups engaged in supervised training or personal improvement activities. Examples include corporate retreat facilities, educational facilities and dude ranches or working farm learning centers.

10. Short-Term Rental

A dwelling unit, or a portion thereof, in which temporary lodging is offered for compensation to a party or parties of guests. For purposes of this section, "party of guests" shall mean an individual or group renting or seeking to rent the entirety of the short-term rental. Short-Term Rentals can be principal or accessory uses.

Chapter 40 – Supplemental Use and Building Regulations

40.375 Short-Term Rental

The supplemental use regulations of this section apply to all principal use short-term rentals.

40.375-A short-term rental may be rented to up to 4 parties of guests not to exceed 8 individual guests at one time.

40.375-B A short-term rental must comply with all licensing requirements of the City of Tulsa and an approved license number must be included with any material advertising the short-term rental.

40.375-C Events are not permitted in conjunction with a short-term rental use. Examples of events include, but are not limited to, weddings, receptions, anniversaries, private parties, and business seminars.

40.375-D A register of short-term rental guests must be maintained and made available to city code enforcement upon request.

40.375-E External structural alterations or site improvements that change the residential character of the lot upon which a short-term rental is located are prohibited. Examples of such prohibited alterations include, but are not limited to, the construction of a parking lot, the addition of commercial-like exterior lighting, and signage.

40.375-F No recreational vehicle, bus, or trailer shall be parked on a residential street in conjunction with a short-term rental use. A recreational vehicle, bus or trailer may be parked on the property if not visible from the street.

45.186 Short-Term Rental - Accessory

45.185-A Description

The rental of all or a portion of a dwelling unit, which is the primary residence of a household, to a party or parties of guests for temporary lodging for a period of less than 30 consecutive days. For purposes of this section, "party of guests" shall mean an individual or group renting or seeking to rent the entirety of the short-term rental.

45.185-B General

The supplemental use regulations of this section apply to all accessory use short-term rentals.

1. An accessory short-term rental may be rented to up to 4 parties of guests not to exceed 8 individuals in the dwelling unit, including residents of the home.

2. An accessory short-term rental must comply with all licensing requirements of the City of Tulsa and an approved license number must be included with any material advertising the short-term rental.
3. A register of short-term rental guests must be maintained and made available to city code enforcement upon request.
4. On-site events are not permitted in conjunction with an accessory short-term rental. Examples of on-site events include but are not limited to weddings, receptions, anniversaries, private parties, banquets, and business seminars.
5. External structural alterations or site improvements that change the residential character of the lot upon which an accessory short-term rental is located are prohibited. Examples of such prohibited alterations include the construction of a parking lot, the addition of commercial-like exterior lighting, and signage.
6. No recreational vehicle, bus, or trailer shall be parked on a residential street in conjunction with a short-term rental use. A recreational vehicle, bus or trailer may be parked on the property if not visible from the street.



Tulsa Metropolitan Area
Planning Commission

Case : Greenhill Industrial Park I

Hearing Date: April 3, 2019

Case Report Prepared by:

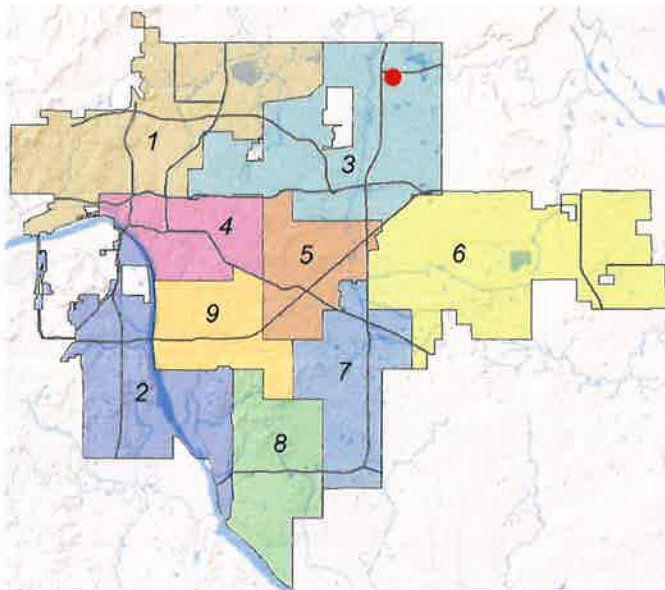
Nathan Foster

Owner and Applicant Information:

Applicant: Chuck Mitchell, Cyntergy

Owner: Owasso Land Trust

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Preliminary Plat

1 lot, 1 block, 25.028 ± acres

Industrial - Moderate

Location: East of the northeast corner of North Garnett Road and East 43rd Street North

Zoning: IM (Industrial – Moderate)

Staff Recommendation:

Staff recommends **approval** of the preliminary plat

City Council District: 3

Councilor Name: Christa Patrick

County Commission District: 1

Commissioner Name: Stan Sallee

EXHIBITS: Site Map, Aerials, Land Use, Growth & Stability, Preliminary Plat, Conceptual Improvements

7.1

Greenhill Industrial Park I - (CD 3)

East of the northeast corner of North Garnett Road and East 43rd Street North

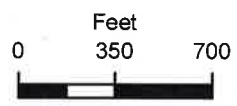
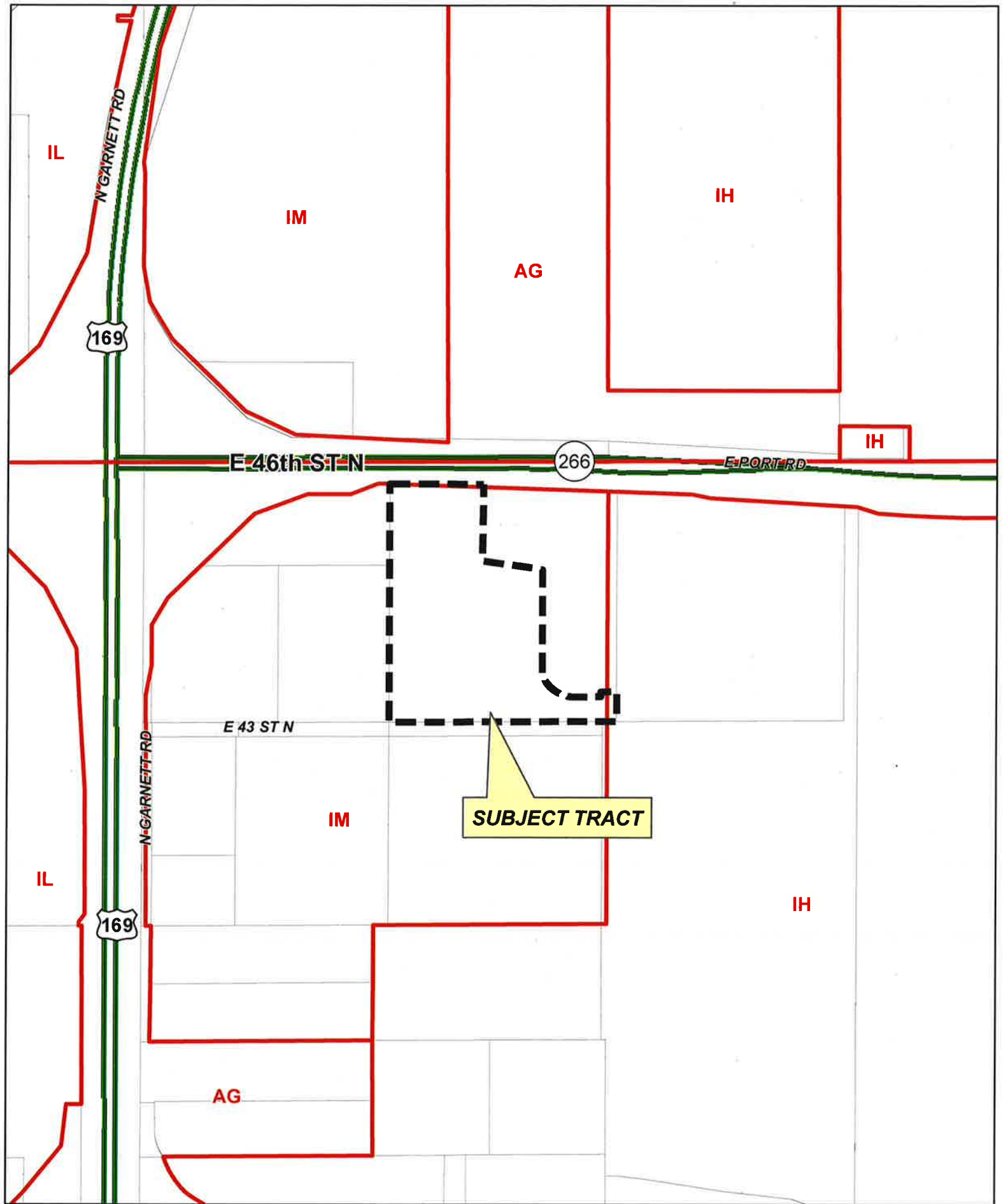
This plat consists of 1 lot, 1 block on 25.028 ± acres.

The Technical Advisory Committee (TAC) met on March 21, 2019 and provided the following conditions:

1. **Zoning:** The property is currently zoned IM (Industrial-Moderate). Proposed lot conforms to the requirements of the IM district found in the City of Tulsa Zoning Code.
2. **Addressing:** City of Tulsa address must be assigned and affixed to the face of the final plat along with the appropriate address disclaimer.
3. **Transportation & Traffic:** Dimension and label adjacent right-of-way with recording information or indicate "by plat". Infrastructure Development Plans (IDP) for sidewalks, ADA ramps, and driveways must be approved prior to approval of the final plat.
4. **Sewer:** Existing sanitary sewer service at the site. Ensure appropriate easement language is included with the deed of dedication upon submittal of a final plat. Several easements shown on the conceptual utility plan are not reflected on the face of the plat.
5. **Water:** Relocation of a public water main is included in the Infrastructure Development Plans (IDP) associated with this site. IDP plans for the relocation must be approved and appropriate easements/ROW must be provided for new lines prior to approval of the final plat.
6. **Engineering Graphics:** Make required revisions to the location map. Provide updated subdivision data control sheet with references to this plat. Remove contours from final plat submittals. Add "State of" before Oklahoma in the plat subtitle.
7. **Stormwater, Drainage, & Floodplain:** Floodplain areas must be clearly delineated on the face of the final plat and fully contained within overland drainage easements. Include appropriate language for reserve areas in the covenants of the plat and provide language for overland drainage easements and compensatory easements.
8. **Airport:** Crane studies will be required by the Federal Aviation Administration prior to construction on the lot.
9. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** All utilities indicated to serve the site must provide a release prior to final plat approval. Provide a Certificate of Records Search from the Oklahoma Corporation Commission to verify no oil & gas activity on the site.

Staff recommends **APPROVAL** of the preliminary subdivision plat subject to the conditions provided by TAC and all other requirements of the Subdivision and Development Regulations.

7.2



20-14 17

GREENHILL INDUSTRIAL PARK I

7.3





N. GARNETT RD

169

E 46th ST N

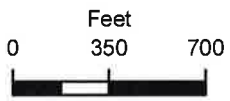
266

E PORT RD

N. GARNETT RD

169

E 43 ST N



Subject Tract

20-14 17

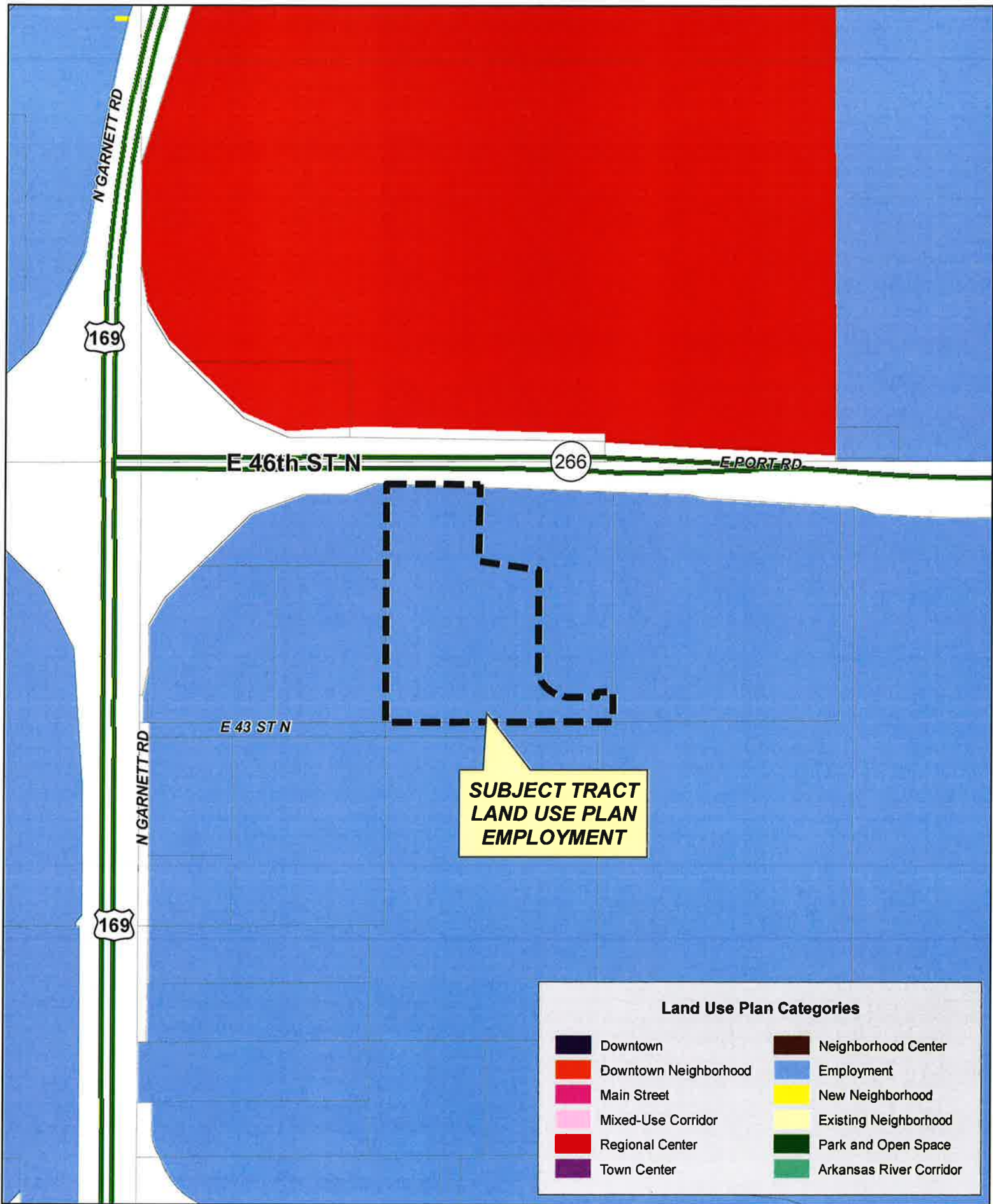
GREENHILL INDUSTRIAL PARK I

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018

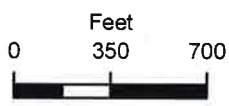
7.4





**SUBJECT TRACT
LAND USE PLAN
EMPLOYMENT**

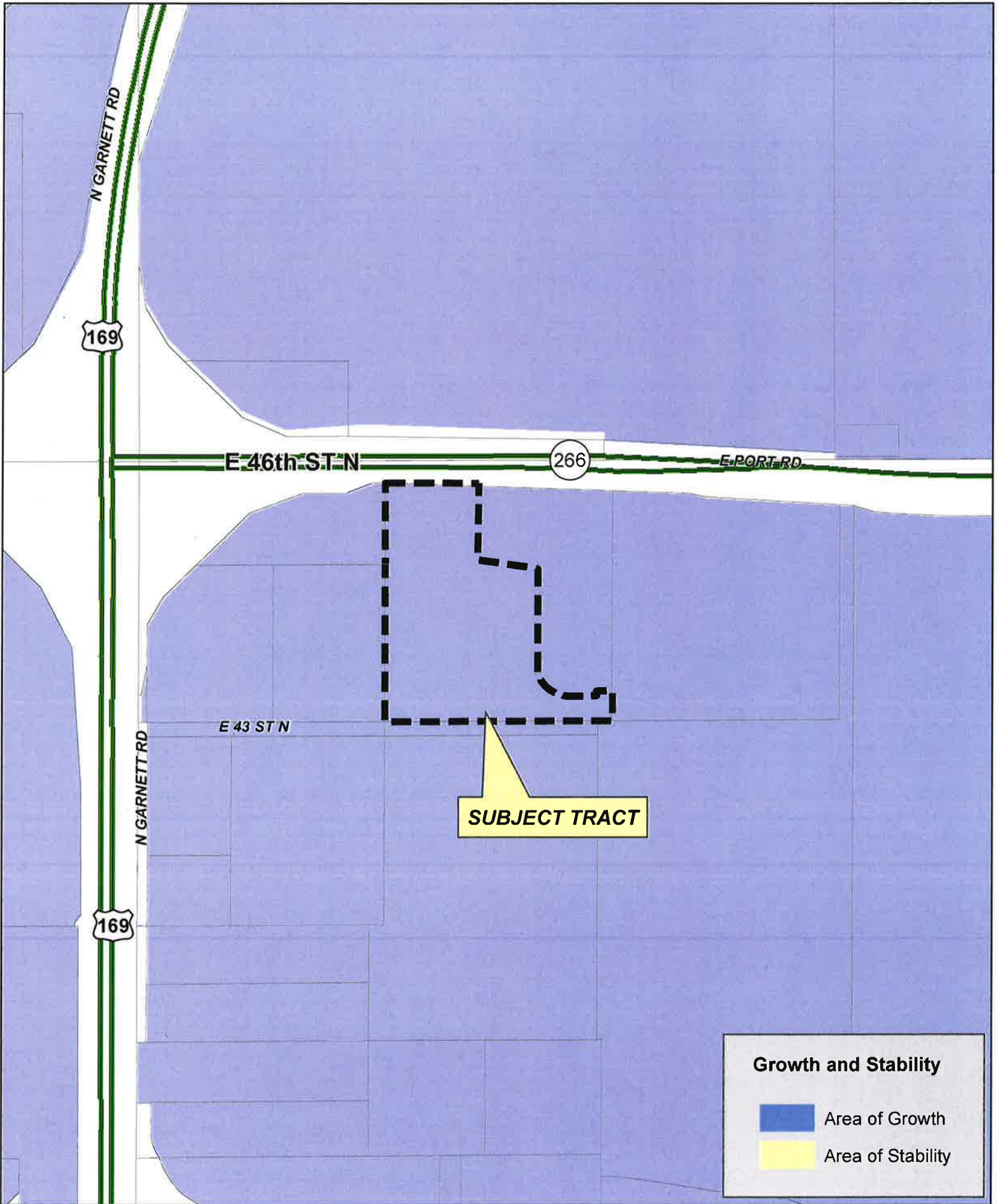
Land Use Plan Categories			
	Downtown		Neighborhood Center
	Downtown Neighborhood		Employment
	Main Street		New Neighborhood
	Mixed-Use Corridor		Existing Neighborhood
	Regional Center		Park and Open Space
	Town Center		Arkansas River Corridor



20-14 17

**GREENHILL
INDUSTRIAL
PARK I**





169

N GARNETT RD

E 46th ST N

266

E PORT RD



E 43 ST N

N GARNETT RD

169

SUBJECT TRACT

Growth and Stability

-  Area of Growth
-  Area of Stability



20-14 17

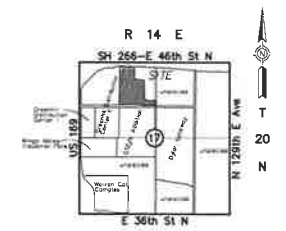
**GREENHILL
INDUSTRIAL
PARK I**



PLAT NO

PRELIMINARY SUBDIVISION PLAT GREENHILL INDUSTRIAL PARK I

A PART OF THE NORTH HALF OF SECTION 17, TOWNSHIP 20 NORTH, RANGE 14 EAST, INDIAN BASE AND MERIDIAN
A SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA



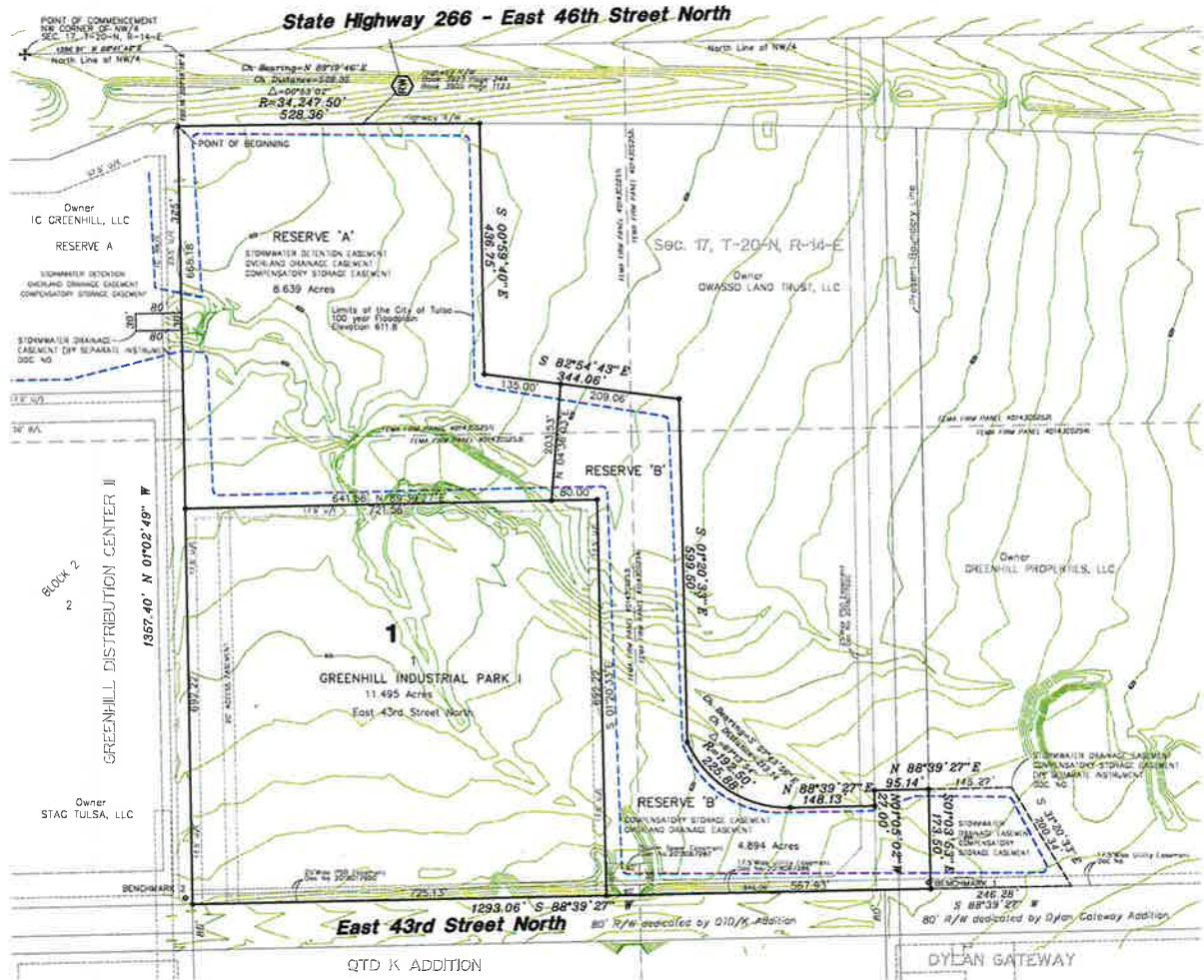
Location Map
SCALE: 1"=2000'



Scale: 1"=100'

- Legend**
- ACC ACCESS PERMITTED
 - B/LM BUILDING SETBACK LINE
 - BN BENCHMARK
 - BCR BOUNDARY CORNER FOUND
 - BCS BOUNDARY CORNER SET
 - CH CHORD (ARC)
 - D/E DEDUCTORY DRAINAGE EASEMENT
 - E/E ELECTRIC EASEMENT
 - G/E GAS EASEMENT
 - LNA LIMITS OF NO ACCESS
 - O/E OVERLAND DRAINAGE EASEMENT
 - SD/E RIGHT-OF-WAY
 - S/S/E STORM DRAIN EASEMENT
 - SS/E SANITARY SEWER EASEMENT
 - U/E UTILITY EASEMENT
 - RW/E RESTRICTED WATER LINE EASEMENT

Lot Summary
LOT 1: 1,090,212 ± Square Feet (25,028 Acres)



Benchmarks
ADS 26, 1"-1/2" CAP STAMPED '26' IN SW QUADRANT OF INTERSECTION OF E APACHE ST N AND N GARNETT RD
NORTHING 460,630.32 EASTING 2,602,181.88 ELEVATION 653.21(NAVD83)
ADS 26, 1"-1/2" CAP STAMPED '26S' 0.2 MILE WEST OF INTERSECTION OF E 56TH ST N AND US 169 IN CENTER MEDIAN
NORTHING 456,858.48 EASTING 2,607,946.11 ELEVATION 593.66(NAVD83)
SITE BENCHMARK 1: TOP NORTH RM OF SANITARY SEWER MANHOLE AS SHOWN NEAR THE SOUTHWEST CORNER OF THIS TRACT
NORTHING 449,913.87 EASTING 2,605,029.93 ELEVATION 624.69(NAVD83)
SITE BENCHMARK 2: TOP NORTH RM OF SANITARY SEWER MANHOLE AS SHOWN NEAR THE SOUTHWEST CORNER OF THIS TRACT
NORTHING 449,884.03 EASTING 2,603,728.27 ELEVATION 618.13(NAVD83)

Addresses
ADDRESSES SHOWN ON THIS PLAT ARE ACCURATE AT THE TIME THE PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION.

Basis of Bearing/Coordinates
THE BASIS OF BEARING IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE 3501, NAD83(1993) SURVEY FEET THE BEARING OF THE SOUTH LINE OF THE SE 1/4 OF SECTION 17, T-20-N, R-14-E, INDIAN BASE & MERIDIAN IS N 88°31' E.
COORDINATES SHOWN ARE ON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE 3501, NAD83(1993)
NORTHWEST CORNER LOT 1 BLOCK 1
3/2" REBAR 18" LONG W/ORANGE PLASTIC CAP LABELED RLS 1289
NORTHING 451,229.99; EASTING 2,603,716.06
SOUTHWEST CORNER LOT 1 BLOCK 1
3/2" REBAR 18" LONG W/ORANGE PLASTIC CAP LABELED RLS 1289
NORTHING 449,972.52; EASTING 2,603,740.86
ALL SUBDIVISION CORNERS ARE MONUMENTED WITH A 3/2" REBAR 18" LONG W/ORANGE PLASTIC CAP LABELED RLS 1289 OR AS SHOWN.

Flood Note
THE SUBJECT TRACT IS LOCATED IN ZONE X (UNSHADED), AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP 401430251L, REVISED DATE OCTOBER 16, 2012.
THE SUBJECT TRACT IS LOCATED IN ZONE X (UNSHADED), AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP 401430253L, REVISED DATE OCTOBER 16, 2012.
THE SUBJECT TRACT IS LOCATED IN ZONE X (UNSHADED), AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP 401430253L, REVISED DATE OCTOBER 16, 2012.
THE SUBJECT TRACT IS LOCATED IN ZONE X (UNSHADED), AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP 401430254L, REVISED DATE OCTOBER 16, 2012.

QTD K ADDITION

SURVEYOR:
BENCHMARK SURVEYING
AND LAND SERVICES, INC.
P.O. BOX 1078
OWASSO, OK 74055
918-274-9081
CERTIFICATE OF AUTHORIZATION NO. 2235
RENEWAL DATE: JUNE 30, 2020
KEVIN M NEULUN
BENCHMARK@TASOK.COM

ENGINEER:
CYNTERCY
810 SOUTH CINCINNATI
TULSA, OKLAHOMA 74119
918-520-9976
918-520-9081
CERTIFICATE OF AUTHORIZATION NO. 3537
RENEWAL DATE: JUNE 30, 2020
CHUCK MITCHELL
CMITCHELL@CYNTERCY.COM

OWNER/DEVELOPER:
OWASSO LAND TRUST, LLC
12150 E 56th ST N, SUITE 200
OWASSO, OKLAHOMA 74055
918-272-2382
BRIAN DOYLE
BRIAN@SMMNSKOURTIS.COM

FINAL PLAT ENDORSEMENT OF APPROVAL	
Tulsa Metropolitan Planning Commission	Approved Date: _____
TRAFALGOCOD	_____
CITY ENGINEER	_____
COUNTY ENGINEER	_____
Council of the City of Tulsa, Oklahoma	Approved Date: _____
CHAIRMAN	_____
MAYOR	_____
ATTORNEY, CITY CLERK	_____
CITY ATTORNEY	_____

GREENHILL INDUSTRIAL PARK I
February 25, 2019
SHEET 1 of 2

7/6

GREENHILL INDUSTRIAL PARK I

Deed of Dedication and
Declaration of Restrictive Covenants

KNOW ALL MEN BY THESE PRESENTS
OWASO LAND TRUST, LLC, an Oklahoma Limited Liability Company, hereinafter referred to as the "Owner/Developer", is the owner of the following described land in the City of Tulsa, Tulsa County, State of Oklahoma, to-wit:

A tract of land located in the East Half of the Northwest Quarter (E/2 NW/4) and in the West Half of the Northeast Quarter (W/2 NE/4) of Section Eleven (17) of Township Twenty (20) North and Range Fourteen (14) East of the Indian Base and Meridian (E18&M) according to the U.S. Government Survey, (herein, Tulsa County, State of Oklahoma), being more particularly described as follows:

COMMENCING at the NW corner of the NW/4 of Sec. 17, T-20-N, R-14-E, (B.M.A.); thence N 88°51'42" E along the north line of said NW/4 a distance of 1306.91 feet; thence S 01°19'18" E a distance of 1306.16 feet to the POINT OF BEGINNING being on the present right-of-way of State Highway No. 266 and on the east boundary of GREENHILL DISTRIBUTION CENTER II, according to the recorded Plat No. 0407; thence along a curve to the right being on the present right-of-way of said State Highway No. 266 having a radius of 34,847.50 feet, a central angle of 009°3'02", a chord bearing of N 89°19'46" E, a chord length of 529.26 feet, for a distance of 529.26 feet; thence S 00°59'40" E a distance of 436.75 feet; thence S 92°54'43" E a distance of 344.06 feet; thence S 01°03'21" E a distance of 599.50 feet; thence along a curve to the left having a radius of 192.50 feet, a central angle of 67°13'54", a chord bearing of S 57°43'36" E, a chord length of 213.14 feet, for a distance of 225.88 feet; thence S 08°39'27" E a distance of 213.14 feet; thence N 01°00'02" W a distance of 27.00 feet; thence N 88°39'27" E a distance of 851.14 feet; thence S 01°03'38" E a distance of 173.50 feet to the Present right of way of East 43rd Street North; thence S 88°39'27" W along the present right-of-way of said East 43rd Street North a distance of 1293.36 feet to the boundary of said GREENHILL DISTRIBUTION CENTER II; thence N 01°02'49" W along the boundary of said GREENHILL DISTRIBUTION CENTER II a distance of 1357.40 feet to the Point of Beginning

and has caused the above described tract of land to be surveyed, staked, plotted and subdivided into 1 Lot and 1 Block conforming with the accompanying plat and has designated the subdivision as "GREENHILL INDUSTRIAL PARK I", a subdivision in the City of Tulsa, Tulsa County, Oklahoma (herein referred to as GREENHILL INDUSTRIAL PARK I or the "Subdivision").

SECTION II - EASEMENTS AND UTILITIES

A. Utility Easements

The Owner/Developer does hereby dedicate to the public the utility easements as depicted on the accompanying plat as "U/E" or "Utility Easement" for the several purposes of constructing, maintaining, operating, repairing, replacing, and/or removing any and all public utilities, including storm sewers, sanitary sewers, telephone and communication lines, electric power lines and transformers, gas lines, water lines and cable television lines, together with all fittings, including the pipes, wires, conduits, pipes, valves, meters, and equipment for each of such facilities and any other appurtenances thereto, with the rights of ingress and egress to and upon the utility easements for the uses and purposes aforesaid, provided however, the Owner/Developer hereby reserves the right to construct, maintain, operate, lay, repair or replace water lines and sewer lines, together with the right of ingress and egress for such construction, maintenance, operation, laying, repairing and replacing over, across and along all of the utility easements depicted on the plat, for the purpose of furnishing water and/or sewer service to the area included in the plat. The Owner/Developer herein imposes a restrictive covenant on this easement shall be binding on each lot and shall be enforceable by the City of Tulsa, Oklahoma, and by the supplier of any affected utility service, that within the utility easements depicted on the accompanying plat no building, structure or other above or below ground obstruction that interferes with the above set forth uses and purposes the utility easements shall be placed, erected, installed or maintained, provided however, nothing herein shall be deemed to prohibit drives, parking areas, curbing, landscaping and customary screening fences and walls that do not constitute an obstruction.

B. Restricted Waterline Easements

The Owner/Developer does hereby dedicate to the public perpetual easements on, over, and across those areas depicted on the accompanying plat as "Restricted Waterline Easement" or "RW/E" for the purposes of constructing, maintaining, operating, repairing, replacing, and/or removing waterlines together with all fittings including the pipes, valves, meters and equipment and other appurtenances thereto together with rights of ingress and egress to and upon the easements for the uses and purposes aforesaid.

C. Sanitary Sewer Easement

The Owner/Developer does hereby dedicate to the public a perpetual easement on, over, and across the area depicted on the accompanying plat as "Sanitary Sewer Easement" or "SS/E" for the purposes of constructing, maintaining, operating, repairing, replacing, and/or removing sanitary sewer lines together with all fittings including the pipes, manholes, manholes and equipment and other appurtenances thereto together with rights of ingress and egress to and upon the easement for the uses and purposes aforesaid.

D. Underground Service

- Street light poles or standards may be served by overhead line or underground cable and elsewhere throughout the Subdivision all supply lines including electric, telephone, cable television and gas lines shall be located underground in easements dedicated for general utility services and in the right-of-way of public streets as depicted on the accompanying plat. Service pedestals and transformers, as sources of supply of secondary voltages, may also be located in the general utility easements.
- Underground services cables and gas service lines to all structures which may be located within the Subdivision may be run from the nearest gas main, service pedestal or transformer to the point of use determined by the location and construction of such structure as may be located upon the lot, provided that upon the installation of a service cable or gas service line to a particular structure, the supplier of service shall thereafter be deemed to have a definitive, permanent, effective and non-exclusive easement on the lot, covering a 5 foot strip extending 2.5 feet on each side of the service cable or line, extending from the gas main, service pedestal or transformer to the service entrance on the structure.
- The supplier of electric, telephone, cable television and gas services, through its agents and employees, shall at all times have right of access to all general utility easements depicted on the accompanying plat or otherwise provided for in this Deed of Dedication for the purpose of installing, maintaining, removing or replacing any portion of the underground electric, telephone, cable television or gas facilities installed by the supplier of the utility service.
- The owner of each lot shall be responsible for the protection of the underground utility facilities located on their lot and shall prevent the alteration of grade or any construction activity which would interfere with the electric, telephone, cable television or gas facilities. The supplier of service shall be responsible for ordinary maintenance of underground facilities, but the lot owner shall pay for damage or relocation of such facilities caused or necessitated by acts of the lot owner or its agents or contractors.
- The foregoing covenants set forth in this paragraph D shall be enforceable by the supplier of the electric, telephone, cable television service or gas, and the owner of the lot agrees to be bound hereby.

PRELIMINARY SUBDIVISION PLAT GREENHILL INDUSTRIAL PARK I

A PART OF SECTION 17, TOWNSHIP 20 NORTH, RANGE 14 EAST, INDIAN BASE AND MERIDIAN
A SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA

E. Water, Sanitary Sewer and Storm Sewer Services

- The owner of the lot shall be responsible for the protection of the public water mains, sanitary sewer mains and storm sewers located on its lot.
- Within the Utility Easement, Restricted Waterline and Sanitary Sewer Easement areas depicted on the accompanying plat, the alteration of grade from the contours existing upon the completion of the installation of a public water main, sanitary sewer main or storm sewer, or any construction activity which in the judgment of the City of Tulsa would interfere with public water mains, sanitary sewer mains or storm sewers shall be prohibited.
- The City of Tulsa, Oklahoma, or its successors, shall be responsible for the ordinary maintenance of public water mains, sanitary sewer mains and storm sewers, but the owner of the lot shall pay for damage or relocation of such facilities caused or necessitated by acts of the lot owner or its agents or contractors.
- The City of Tulsa, Oklahoma, or its successors shall at all times have right of access to all Utility Easements, Restricted Water Line Easements, and Sanitary Sewer Easements depicted on the accompanying plat, or otherwise provided for in this Deed of Dedication, for the purpose of installing, maintaining, removing, or replacing any portion of underground water, sanitary sewer or storm sewer facilities.
- The foregoing covenants set forth in this paragraph E shall be enforceable by the City of Tulsa, Oklahoma, or its successors, and the owner of the lot agrees to be bound hereby.

F. Gas Service

- The supplier of gas services through its agents and employees shall at all times have the right of access to all utility easements shown on the plat or otherwise provided for in this deed of dedication for the purpose of installing, removing, replacing, or replacing any portion of the facilities installed by the supplier of gas service.

The owner of any lot shall be responsible for the protection of the underground gas facilities located within the lot and shall prevent the alteration of grade or any other construction activity which would interfere with gas service. The supplier of gas service shall be responsible for the ordinary maintenance of its facilities, but the lot owner shall pay for damage or relocation of facilities caused or necessitated by acts of the lot owner, or the lot owner's agents or contractors.

- The covenants set forth in this subsection shall be enforceable by the supplier of the gas service and the owner of the lot agrees to be bound by these covenants.

G. Surface Drainage

Each lot shall receive and drain, in an unobstructed manner, the storm and surface waters from lots and drainage areas of higher elevation. No lot owner shall construct or permit to be constructed any fencing or other obstructions which would impair the drainage of storm and surface waters from across the owner's lot. The foregoing covenants set forth in this paragraph G shall be enforceable by any affected lot owner and by the City of Tulsa, Oklahoma, as appropriate.

H. Limits of No Access

The undersigned Owner/Developer hereby relinquishes rights of vehicular ingress or egress from any portion of the property depicted on East 43rd Street North within the bounds designated as "Limits of No Access" (L.N.A) on the accompanying plat, which "Limits of No Access" may be amended or released by the Tulsa Metropolitan Area Planning Commission, or its successor, and with the approval of the City of Tulsa, Oklahoma, or its successor provided by the statutes and laws of the State of Oklahoma pertaining thereto, and the Limits of No Access above established shall be enforceable by the City of Tulsa.

I. Overflow Drainage Easements

- The Owner/Developer does hereby dedicate to the public perpetual easements on, over, and across those areas depicted on the accompanying plat as "O/E" or "Overflow Drainage Easement" for the purposes of permitting the overflow flow, conveyance, and discharge of stormwater runoff from the various lots within the subdivision.
- Drainage facilities located within Overflow Drainage Easements shall be constructed in accordance with the adopted standards of the City of Tulsa, Oklahoma and plans and specifications approved by the City of Tulsa, Oklahoma.
- No fence, wall, building or other obstruction may be placed or maintained in the Overflow Drainage Easement areas nor shall there be any alteration of the grades or contours in the easement areas unless approved by the City of Tulsa, Oklahoma; provided, however, that the planting of turf shall not require the approval of the City of Tulsa, Oklahoma.
- The Overflow Drainage Easement areas and facilities located within a lot shall be maintained by the owner of the lot upon which the Overflow Drainage Easement is located at its cost, in accordance with standards prescribed by the City of Tulsa, Oklahoma. In the event the owner of the lot over which an Overflow Drainage Easement is located should fail to properly maintain the easement area and facilities located thereon, in the event of the placement of an obstruction within the easement area, or the alteration of the grade or contour thereon, the City of Tulsa, Oklahoma, or its designated contractor may enter the easement area and perform maintenance necessary to the achievement of the intended drainage functions and may remove any obstruction or correct any alteration of grade or contour, and the costs thereof shall be paid by the lot owner. In the event the lot owner fails to pay the cost of maintenance or removal of the materials and work as stated in a statement of costs, the City of Tulsa, Oklahoma, may file of record a copy of the owner of costs in the land records of the Tulsa County Clerk, and thereafter the costs shall be a lien against the lot or its owner. A lien established as above provided may be foreclosed by the City of Tulsa, Oklahoma.

J. Stormwater Detention Easement

- The Owner/Developer does hereby dedicate to the public perpetual easements on, over, and across the property designated and shown on the accompanying plat as "Stormwater Detention Easement" for the purposes of permitting the flow, conveyance, retention, detention and discharge of stormwater runoff from the subdivision.
- Detention, retention, and other drainage facilities located within the stormwater detention easements shall be constructed in accordance with standards and specifications approved by the City of Tulsa, Oklahoma.
- No fence, wall, building, or other obstruction may be placed or maintained in stormwater detention easements nor shall there be any alteration of grade in said easements unless approved by the City of Tulsa, Oklahoma.

Detention, retention, and other drainage facilities shall be maintained by the owner, to the extent necessary to achieve the intended drainage, retention, and detention functions including repair of easements and removal of obstructions and siltation. Detention facilities shall be maintained by the owner in accordance with the following minimum standards:

- Gross areas shall be mowed (in season) at regular intervals of four weeks, or less.
- Concrete appurtenances shall be maintained in good condition and replaced if damaged.
- The detention easement shall be kept free of debris.
- Cleaning of siltation and vegetation from concrete channels shall be performed twice yearly.

Landscaping approved by the City of Tulsa, Oklahoma, shall be allowed within the detention easements.

In the event the owner should fail to properly maintain the detention, retention, and other drainage facilities or, in the event of the placement of an obstruction of the alteration of grade within a detention easement, the City of Tulsa, Oklahoma, or its designated contractor may enter and perform maintenance necessary to achieve the intended drainage functions and may remove any obstruction or correct any alteration of grade, and the costs thereof shall be paid by the owner in the event the owner fails to pay the cost of maintenance after completion of the maintenance and receipt of a statement of costs, the City of Tulsa, Oklahoma, may file of record a copy of the statement of costs in the land records of the Tulsa County Clerk, and thereafter the costs shall be a lien against the property. A lien established as above provided may be foreclosed by the City of Tulsa, Oklahoma.

K. Compensatory Storage Easements

- The owner dedicates to the public perpetual easements on, over, and across the area depicted on the accompanying plat as "Compensatory Storage Easement" for the purposes of permitting the storage of stormwater.
- Drainage facilities located within the Compensatory Storage Easements shall be constructed in accordance with standards and specifications approved by the City of Tulsa, Oklahoma.
- The grades within Compensatory Storage Easements shall not be altered after completion of the final grading required for compensatory storage. Compensatory storage easements shall be revegetated with grass seed only and no trees or shrubs or other above-grade vegetation shall be planted or maintained within compensatory storage easements.
- No construction or installation of any structure or other improvement, no grading, filling or other earth-berm, and no activity causing a reduction of flood storage volume shall occur or be permitted, without prior written approval from the City of Tulsa, Oklahoma.

L. Fencing and Landscaping Within Easements

The owner of the lot affected shall be responsible for the repair of damage to landscaping and paving occasioned by installation or necessary maintenance of underground water, sanitary sewer, storm sewer, natural gas, communication, cable television, or electric facilities within the easement areas depicted upon the accompanying plat, provided however, the City of Tulsa, Oklahoma, or its successors, or the supplier of the utility service shall use reasonable care in the performance of such activities.

M. Sidewalks

Sidewalks are required along East 43rd Street North in accordance with the Tulsa Metropolitan Area Subdivision and Development Regulations. Required sidewalks shall be constructed and maintained in conformance with the City of Tulsa Engineering Design Standards. Sidewalks shall be constructed prior to the issuance of a certificate of occupancy for any building in the subdivision.

N. CERTIFICATE OF OCCUPANCY RESTRICTIONS

No Certificate of Occupancy for a building within the subdivision shall be issued by the City of Tulsa, Oklahoma until construction of the required infrastructure (streets, water, sanitary sewer, storm sewer systems, and sidewalks as specified in this Deed of Dedication) serving the entire subdivision has been completed and accepted by the City. Notwithstanding the foregoing, the City may authorize the issuance of a Temporary Certificate of Occupancy if, in the City's sole discretion, the circumstances support the issuance. Further notwithstanding the foregoing, the City may authorize the phasing of construction of infrastructure within the subdivisions, and if phasing is authorized, a certificate of occupancy for a building within an authorized phase may be issued upon the completion and acceptance of the infrastructure serving the particular phase. Building construction occurring prior to the City's acceptance of the infrastructure shall be at the risk of the owner of the lot, notwithstanding the issuance of a building permit or of a Temporary Certificate of Occupancy.

SECTION III. ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

A. Enforcement

The restrictions herein set forth are covenants to run with the land and shall be binding upon the Owner/Developer, its successors and assigns. Within the provisions of Section I, Streets, Easements and Utilities are set forth certain covenants and the enforcement rights pertaining thereto, and additionally the covenants within Section I, whether or not specifically therein so stated, shall inure to the benefit of and shall be enforceable by the City of Tulsa, Oklahoma, in any judicial action brought to enforce the covenants established within this Deed of Dedication, the defense that the party initiating the equitable proceeding was and adequate remedy of law is hereby waived.

B. Duration

These restrictions and covenants, to the extent permitted by applicable law, shall be perpetual but in any event shall be in force and effect for a term of not less than thirty (30) years from the date of the recording of this Deed of Dedication unless terminated or amended as hereinafter provided.

C. Amendment

The covenants contained within Section I, Streets, Easements and Utilities may be amended or terminated at any time by a written instrument signed and acknowledged by the owner of the land to which the amendment or termination is to be applicable and approved by the Tulsa Metropolitan Area Planning Commission, or its successors and the City of Tulsa, Oklahoma. The provisions of any instrument amending or terminating covenants as above set forth shall be effective from and after the date it is properly recorded in the records of the County Clerk of Tulsa County.

D. Severability

Invalidation of any restriction set forth herein, or any part thereof, by an order, judgment, or decree of any court, or otherwise, shall not invalidate or affect any of the other restrictions or any part thereof as set forth herein, which shall remain in full force and effect.

I, OWASO LAND TRUST, LLC, Owner/Developer, has executed this instrument this ____ day of ____ 2019.

OWASO LAND TRUST, LLC
an Oklahoma limited liability company

By: _____
Manager

State of Oklahoma)

) ss

County of Tulsa)

)

This instrument was acknowledged before me on this ____ day of _____, 2019, by _____, as manager of Owaso Land Trust, LLC, an Oklahoma Limited Liability Company.

Notary Public

My commission expires:

Certificate of Survey

I, Kevin M Newlin, a registered professional land surveyor in the State of Oklahoma, do hereby certify that I have carefully and accurately surveyed, staked, subdivided, and plotted the tract of land described above, and that the accompanying plat, designated herein as GREENHILL INDUSTRIAL PARK I, a subdivision in the City of Tulsa, Tulsa County, State of Oklahoma, is a representation of the survey made on the ground using generally accepted practices and meets or exceeds the Oklahoma Minimum Standards for the practice of land surveying.

Kevin M Newlin

Registered Professional Land Surveyor

Oklahoma No. 1289

STATE OF OKLAHOMA)

) ss

COUNTY OF TULSA)

Before me, the undersigned a Notary Public in and for said County and State, on this ____ day of _____, 2019, personally appeared Kevin M Newlin, to me known to be the identical person who subscribed his name as the maker thereof to the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed, for the uses and purposes set forth therein. Given under my hand and seal of office the day and year last above written.

Notary Public

My Commission Expires: _____

Commission No. _____

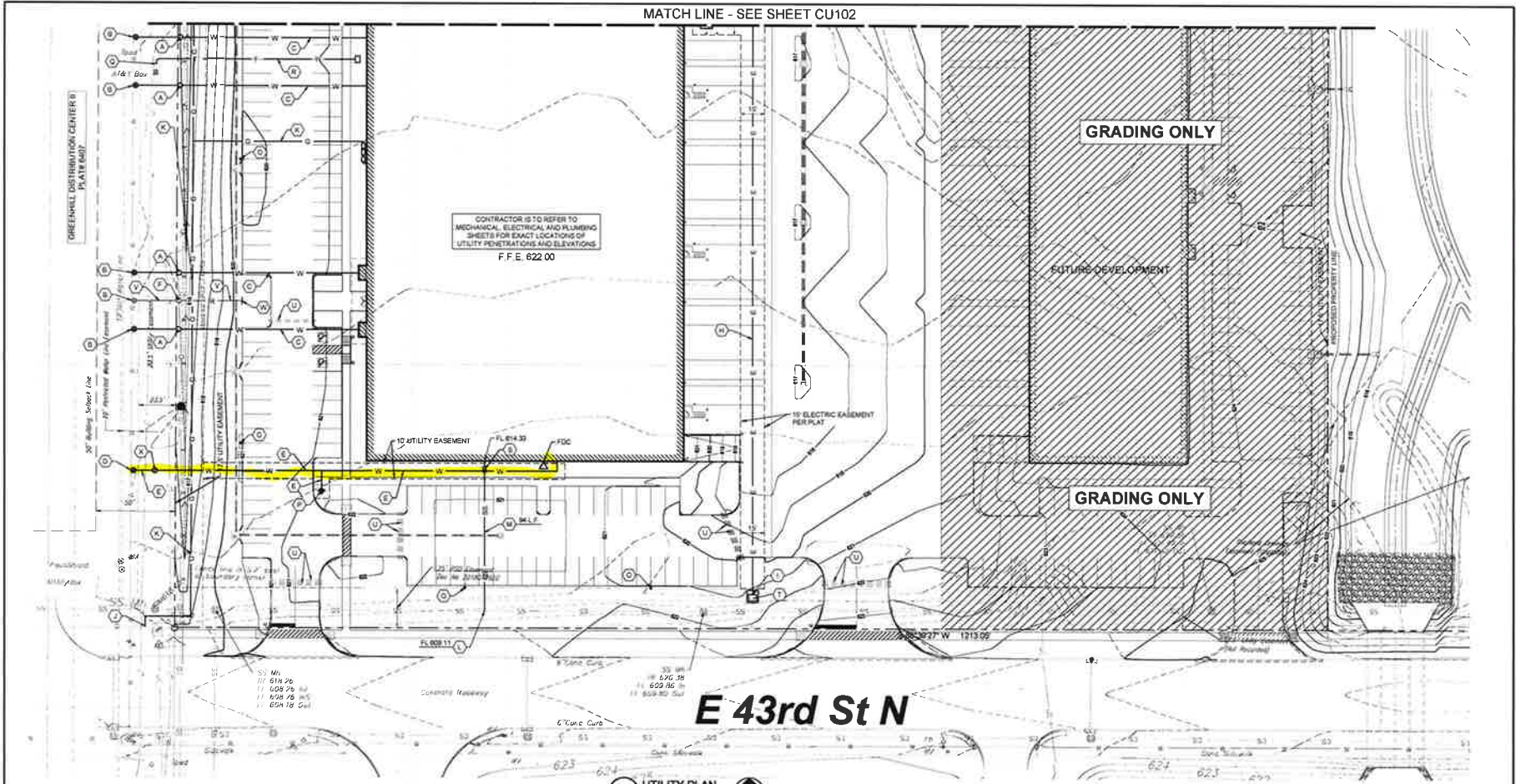
GREENHILL INDUSTRIAL PARK I

February 25, 2019

SHEET 2 of 2

7.8

MATCH LINE - SEE SHEET CU102



CONTRACTOR IS TO REFER TO MECHANICAL, ELECTRICAL AND PLUMBING SHEETS FOR EXACT LOCATIONS OF UTILITY PENETRATIONS AND ELEVATIONS
F.F.E. 622.00

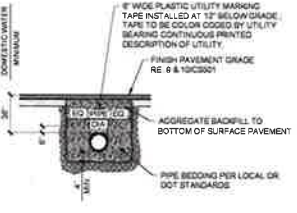
GRADING ONLY

FUTURE DEVELOPMENT

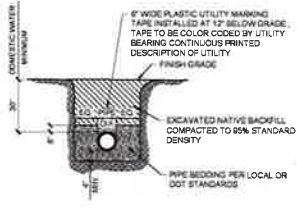
GRADING ONLY

E 43rd St N

1 UTILITY PLAN
SCALE: 1" = 30'-0"



2 TRENCH DETAIL (PAVED AREAS)
SCALE: NOT TO SCALE



3 TRENCH DETAIL (UNPAVED AREAS)
SCALE: NOT TO SCALE

UTILITY KEY NOTES

- A PROPOSED 1" DOMESTIC WATER METER SETTING (INSTALLED BY CITY), CONTRACTOR RESPONSIBLE FOR TAP & EQUITY FEES
- B PROPOSED WATER SERVICE LINE TAP CONNECT PER CITY OF TULSA PUBLIC WORKS DEPARTMENT REQUIREMENTS
- C INSTALL 1-1/4" (SCH 40) PVC, DOMESTIC WATER SERVICE
- D PROPOSED FIRE PROTECTION SERVICE LINE TAP CONNECT PER CITY OF TULSA PUBLIC WORKS DEPARTMENT REQUIREMENTS
- E INSTALL 6" (SCH 40) PVC, FIRE PROTECTION WATER SERVICE LINE
- F PROPOSED 1-1/2" IRRIGATION METER SETTING (INSTALLED BY CITY), CONTRACTOR RESPONSIBLE FOR TAP & EQUITY FEES (RE UTILITY INSTALLATION CONSIDERATIONS NOTE 4 FOR BACKFLOW PREVENTOR LOCATION)
- G INSTALL UNDERGROUND SECONDARY ELECTRIC LINE
- H INSTALL 4" ELECTRICAL CONDUIT TO TRANSFORMER
- I PROPOSED POINT OF CONNECTION FOR ELECTRIC SERVICE
- J PROPOSED POINT OF CONNECTION FOR GAS SERVICE
- K GAS METER AND GAS LINE FROM METER TO GAS MAIN INSTALLED BY OKLAHOMA NATURAL GAS COMPANY (ONG)
- L PROPOSED POINT OF CONNECTION FOR SANITARY SEWER SERVICE. VERIFY FLOW LINE, IF NECESSARY ADJUST SLOPE AND FLOW LINES TO ACCOMMODATE ACTUAL TIE IN ELEVATION. TIE IN THE PROPOSED SERVICE PER CITY OF TULSA STANDARD SPECIFICATIONS AND DETAILS
- M INSTALL 4" PVC SANITARY SEWER SERVICE LINE
- N PAD MOUNTED TRANSFORMER BY AEP/PSO
- O INSTALL LIGHT POLE RE. ELECTRICAL PLANS AND DETAILS FOR TYPE, RE. CS101 AND CS102 FOR LOCATIONS. RE. STRUCTURAL FOR LIGHT BASE DETAILS
- P INSTALL 3-WAY FIRE HYDRANT PER CITY OF TULSA STANDARD DETAIL 309
- Q POINT OF CONNECTION FOR TELECOMMUNICATIONS SERVICE LINE
- R APPROXIMATE LOCATION OF TELECOMMUNICATIONS SERVICE LINE. VERIFY WITH UTILITY PROVIDER. CONTRACTOR TO INSTALL 4" PVC SCH 40 S.EEVE UNDER PAVED AREA
- S INSTALL 4" TWO-WAY SANITARY SEWER CLEANOUT, RE 2C0102
- T PROPOSED ELECTRICAL SWITCH CABINET, BY AEP/PSO
- U INSTALL 4" PVC, SCH 40 CONDUIT WITH PULL WIRE AND CAPPED ENDS FOR FUTURE USE
- V INSTALL 1-1/2" PVC, SCH 40 IRRIGATION SERVICE LINE
- W INSTALL 1-1/2" PLUG AND CAP
- X INSTALL 4" DETECTOR CHECK ASSEMBLY AND METER CAN PER CITY OF TULSA STANDARD DETAIL 501

CAUTION EXISTING UTILITIES !!!

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION TO TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



CYNERGY ENGINEERING PLLC
CA # 3537
EXPIRES 6/30/2026
W CHARLES WITHNELL, PE

DOCUMENTS WITHOUT SIGNATURE AND REQUIRED SEAL OF ARCHITECT ARE NOT FOR CONSTRUCTION

GREENHILL INDUSTRIAL 100
45TH STREET NORTH,
OWASSO, OKLAHOMA
OWASSO LAND & TRUST

STIPULATION FOR REUSE

NO.	DATE	REVISION

ISSUE DATE: 08/12/25
PROJECT NO: 0219000501
CHECKED BY: STA
DRAWN BY: CDC

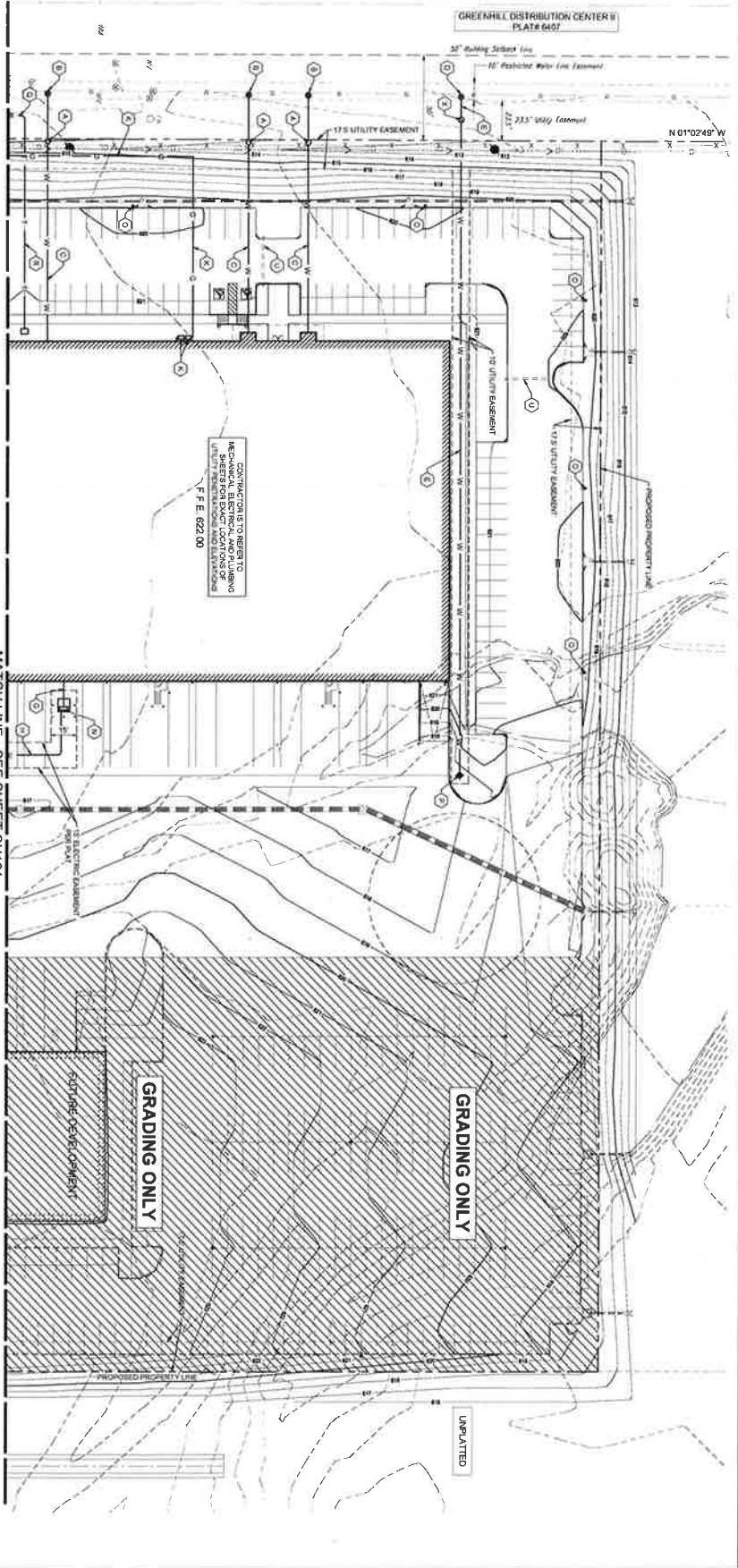


UTILITY PLAN (1 OF 2)

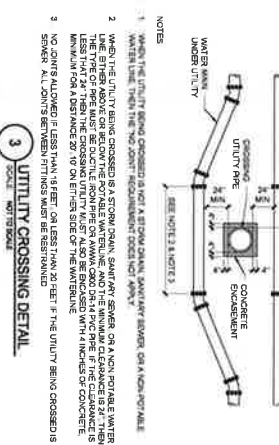
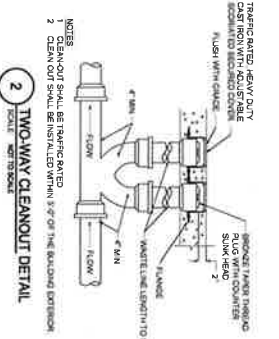
CU101

b'l

017



CAUTION EXISTING UTILITIES III
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED BY FIELD SURVEY AND INSTRUMENTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. NECESSARY PRECAUTIONS SHOULD BE TAKEN TO PROTECT UTILITIES FROM DAMAGE DURING CONSTRUCTION.



- UTILITY KEY NOTES**
- 1 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 2 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 3 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 4 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 5 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 6 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 7 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 8 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 9 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 10 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 11 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 12 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 13 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 14 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 15 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 16 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 17 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 18 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 19 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES
 - 20 PROPOSED 1" POLYETHYLENE GLASS FIBER REINFORCED (PFR) 1" & 80 PSI FEES

- 21 PROPOSED POINT OF CONNECTION FOR GAS SERVICE
- 22 GAS METER AND GAS LINE FROM METER TO GAS MAIN (MIG)
- 23 PROPOSED POINT OF CONNECTION FOR SWIFTWAY SERVICE
- 24 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 25 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 26 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 27 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 28 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 29 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 30 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 31 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 32 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 33 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 34 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 35 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 36 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 37 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 38 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 39 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN
- 40 SWIFTWAY SERVICE FROM METER TO SWIFTWAY MAIN

GREENHILL INDUSTRIAL 100
 45TH STREET NORTH,
 OWASSO, OKLAHOMA

OWASSO LAND & TRUST

CYNTERGY
 610 SOUTH CINCINNATI
 SUITE 200
 TULSA, OK 74119
 918.577.6000
 www.cynergy.com

CONTRACTOR'S CERTIFICATE OF LIABILITY
 I, the undersigned, being duly licensed and qualified under the laws of the State of Oklahoma, do hereby certify that I am the contractor for the above described project and that I am bound by the terms and conditions of the contract.

CONTRACTOR'S CERTIFICATE OF LIABILITY
 I, the undersigned, being duly licensed and qualified under the laws of the State of Oklahoma, do hereby certify that I am the contractor for the above described project and that I am bound by the terms and conditions of the contract.

CU102



Tulsa Metropolitan Area Planning Commission

Case : MR-6 – 4324 S Birmingham Ave

Hearing Date: April 3, 2019

Case Report Prepared by:

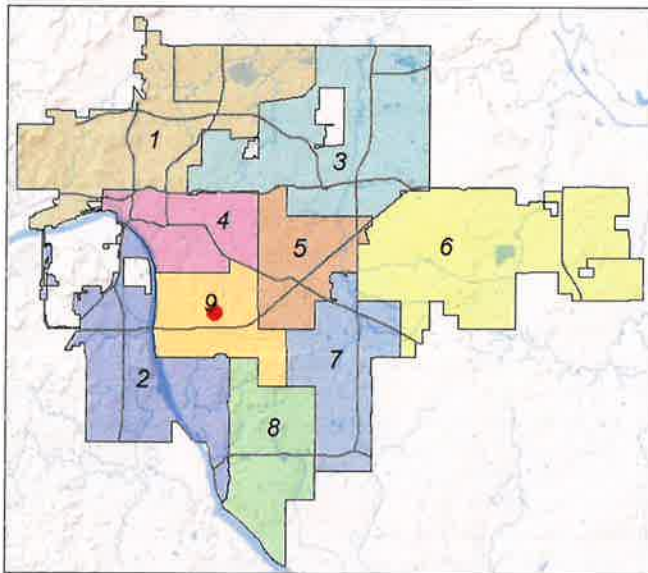
Nathan Foster

Owner and Applicant Information:

Applicant: Insight Homes, LLC

Owner: Janet Hicks

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Modification to the Subdivision and Development Regulations

Purpose: Requesting a modification to the sidewalk requirements of Section 5.070 to remove the requirement for construction of sidewalks.

Location: South of the southwest corner of East 43rd Street South and South Birmingham Avenue

Lot 4 Block 3, Skyview Second Addition

Zoning: RS-2

Staff Recommendation:

Staff recommends **approval** of the modification

City Council District: 9

Councilor Name: Ben Kimbro

County Commission District: 3

Commissioner Name: Ron Peters

EXHIBITS: Site Plan, Applicant's Request

MODIFICATION OF THE SUBDIVISION AND DEVELOPMENT REGULATIONS

MR-6 – 4324 S. Birmingham Avenue - (CD 9)

South of the southwest corner of East 43rd Street South and South Birmingham Avenue

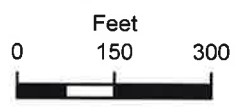
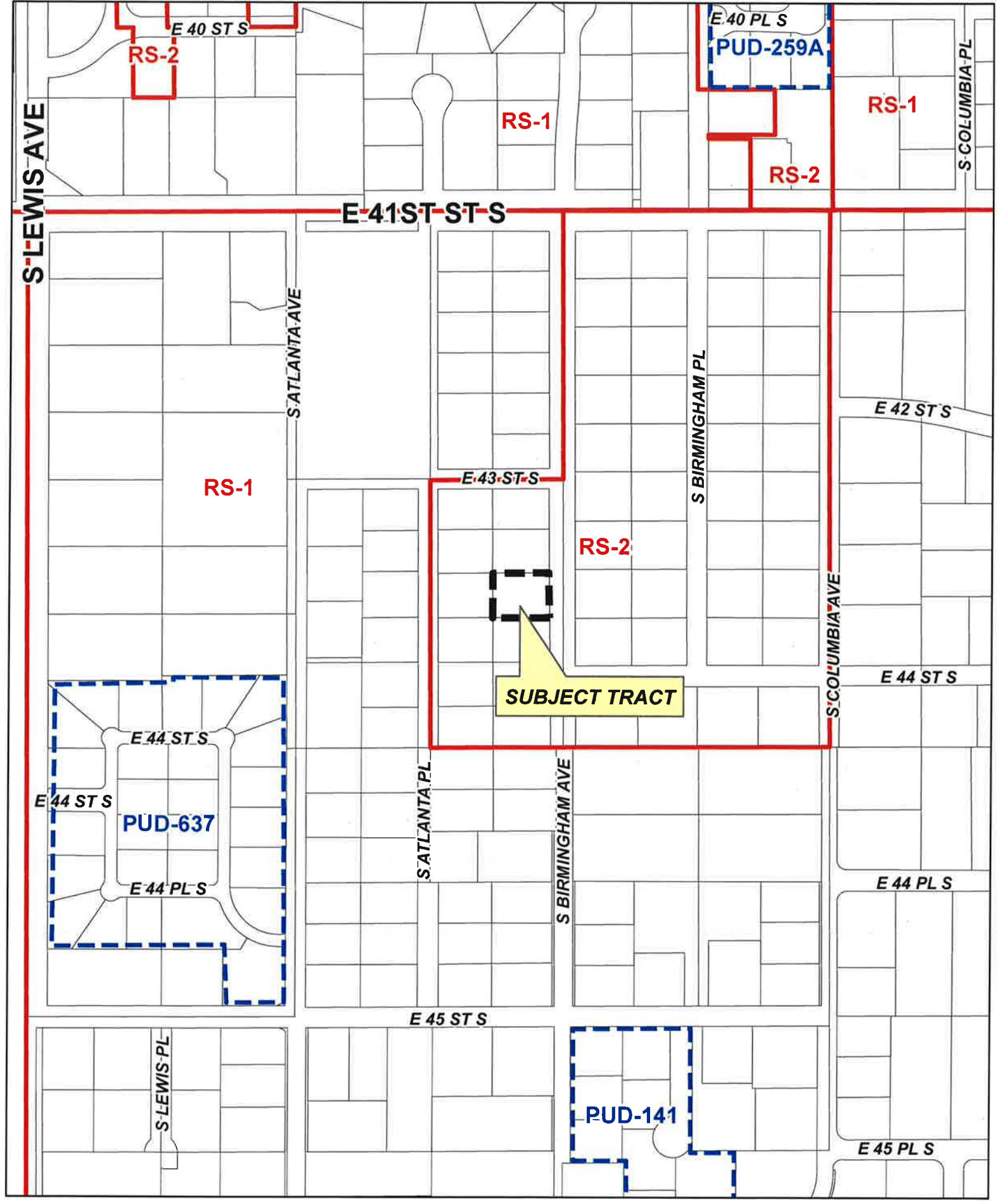
The applicant has requested that the Planning Commission remove the requirement that the property owner construct a sidewalk as part of the construction of a new home. The newly adopted Subdivision and Development Regulations require sidewalks to be constructed on any new development requiring both new construction building permits and a certificate of occupancy.

The property under application is located within a neighborhood where there are currently no sidewalks. The newly constructed home would be the only property in the immediate area with a sidewalk and the sidewalk would not provide the connectivity that is the intended goal of the Subdivision and Development Regulations.

The nearest sidewalk to this property is located along East 41st Street, a primary arterial. There are 8 existing single-family residences between the subject property and East 41st Street.

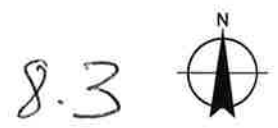
The applicant has stated that a sidewalk would be inconsistent with the current aesthetic of the neighborhood and it would not connect to any other sidewalks.

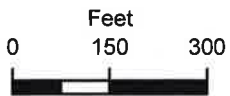
Staff recommends **approval** of the modification of the Subdivision and Development Regulations to remove the requirement for sidewalk construction on this property.



MR-6

19-13 29





 Subject Tract

MR-6

19-13 29

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018





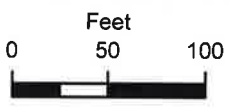
E 43 ST S

S ATLANTA PL

S BIRMINGHAM AVE



E 44 ST S



 Subject Tract

MR-6

19-13 29

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018

8.5



INSIGHT HOMES, INC.
2202 EAST 49TH STREET #310
TULSA, OK. 74105

March 7, 2019

Tulsa Metropolitan Planning Commission
c/o Land Use Administrator

Re: 4324 S. Birmingham Ave. Tulsa, Oklahoma 74105 "Property"
Request for Modification of Sidewalk Requirement

Gentlemen:

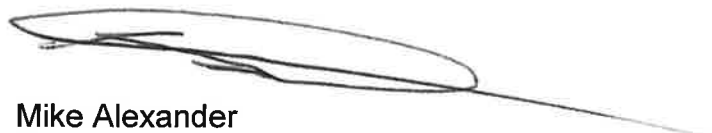
Insight Homes, Inc is construction a single family residence on the Property. We are requesting a modification of the sidewalk requirement contained in Paragraph 5-070 of the Tulsa Metropolitan Area Subdivision and Development that provides that no certificate of occupancy shall be issued until a sidewalk is constructed. We are requesting that no sidewalk be required for a certificate of occupancy to be issued for the Property.

The Property is located in midtown Tulsa in Skyview Second Addition subdivision in which no sidewalks exist. To require a sidewalk for the Property would offer no utility to the area and would not be consistent with the current aesthetics of the area. These factors make the sidewalk installation impractical.

The granting of this modification will not be detrimental to the public safety, health or welfare, will not be injurious to other property or improvement, or impair the spirit, purposes or intent of applicable subdivision regulations or comprehensive plan policies.

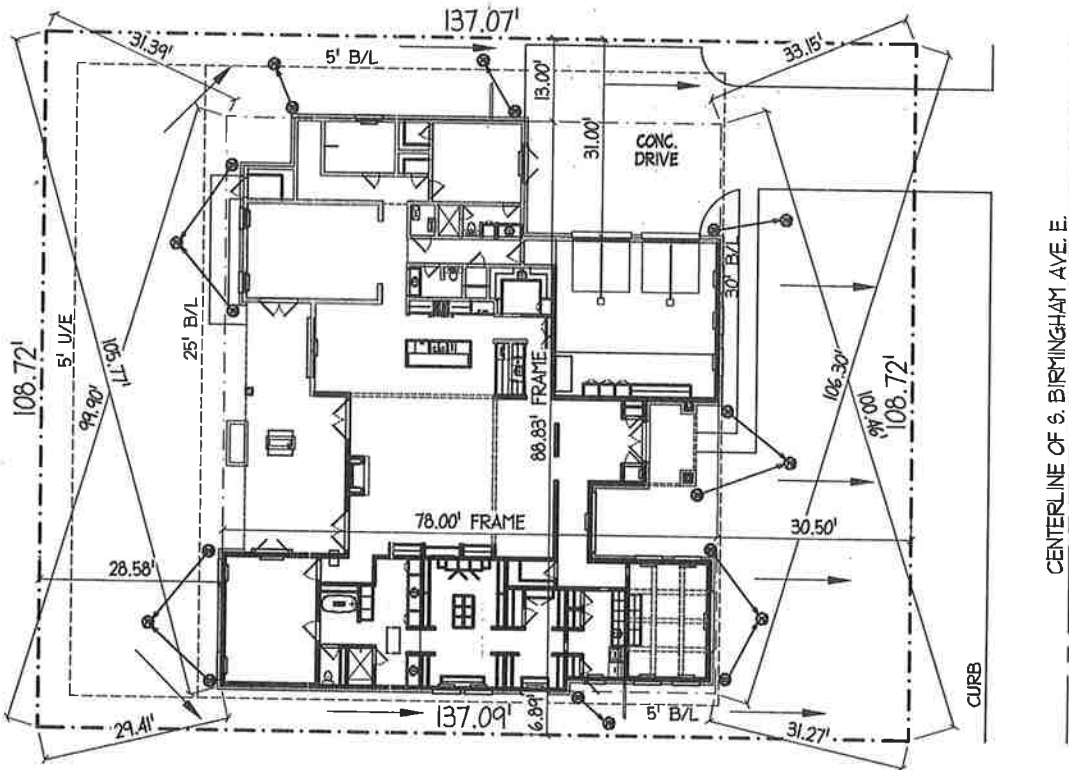
Sincerely yours,

INSIGHT HOMES, INC.

A handwritten signature in black ink, appearing to read "Mike Alexander", with a long horizontal line extending to the right.

Mike Alexander

8.6



LEGEND

FRENCH DRAIN FROM DOWNSPOUT TO CURB OR DAYLIGHT

DOWNSPOUT

INDICATES DRAINAGE FLOW (SWALE AS NEC.)

OPEN SPACE CALCULATIONS

LOT AREA	14903	
MAIN LEVEL	4450	DRIVEWAY 1400
GARAGE	675	COV'D PORCH 676
OPEN SPACE	7702	

NOTE!

IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THIS SITE PLAN IS CORRECT AND THIS PROPOSED DWELLING HAS NO ENCROACHMENTS AT FORM BOARD STAGE. BUILDER WILL VERIFY WITH A FORM BOARD SURVEY FROM A REGISTERED SURVEYOR THAT PROPOSED SLAB FOOTPRINT DOES NOT ENCROACH INTO RECORDED EASEMENTS, AERIAL AND UTILITY EASEMENTS, BUILDING LINES, PROPERTY LINES OR SETBACKS PRIOR TO ANY CONSTRUCTION WHATSOEVER TO PREVENT POSSIBLE ENCROACHMENTS.

Bainbridge Design Group

7318 S. Yale Ave Ste. C, Tulsa, OK 74136 918.499.1497



SCALE = 1"=30'

FIELD VERIFY LOCATION OF HOUSE

Client:	Hicks Residence
Project:	18.05.23 - Plot Plan
Legal Description:	LOT 3, BLOCK 2, SKYVIEW SECOND ADDITION, AN ADDITION TO THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA 4324 S. BIRMINGHAM AVE. E.

8.7

Z-7473

Sawyer, Kim

From: Wilkerson, Dwayne
Sent: Tuesday, March 26, 2019 4:53 PM
To: pfrazlaw@swbell.net
Cc: Miller, Susan; Sawyer, Kim
Subject: Z-7473 (STAFF CONTINUANCE REQUEST TO APRIL 17th)

Mr. Frazier,

Thanks for your time this afternoon. Based on our conversation I will request a staff continuance to allow an optional development plan to support your consideration for CG zoning on the site.

Kim,

Please forward this continuance request to April 17th.

Respectfully,

Dwayne Wilkerson, ASLA, RLA
Principal Planner | Current Planning
Tulsa Planning Office
2 W. 2nd St., 8th Floor | Tulsa, OK 74103
918.579.9475
dwilkerson@incog.org



9.1



Tulsa Metropolitan Area
Planning Commission

Case Number: Z-7476

Hearing Date: April 3, 2019

Case Report Prepared by:

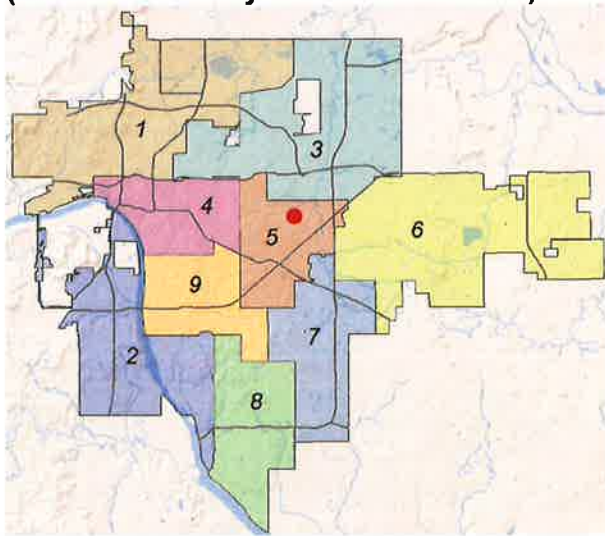
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Lou Reynolds

Property Owner: PBA EXECUTIVE SUITES LLC

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Vacant Office

Proposed Use: Self-Storage

Concept summary: Planned removal of existing dilapidated office building. The expected use is self-storage which will require a special exception.

Tract Size: 1.68 ± acres

Location:

Northeast corner of South Memorial Drive and East 16th Street South

Zoning:

Existing Zoning: OL

Proposed Zoning: CS

Comprehensive Plan:

Land Use Map: Mixed-Use Corridor

Stability and Growth Map: Area of Growth

Staff Recommendation:

Staff recommends approval.

Staff Data:

TRS: 9312

CZM: 38

City Council District: 5

Councilor Name: Cass Fahler

County Commission District: 2

Commissioner Name: Karen Keith

10.1

SECTION I: Z-7476

DEVELOPMENT CONCEPT:

The applicant proposes to remove the existing buildings and redevelop the site. The existing buildings are not suitable for repurposing.

EXHIBITS:

INCOG Case map
INCOG Aerial (small scale)
INCOG Aerial (large scale)
Tulsa Comprehensive Plan Land Use Map
Tulsa Comprehensive Plan Areas of Stability and Growth Map
Applicant Exhibits:

DETAILED STAFF RECOMMENDATION:

Uses allowed in the CS zoning districts as requested in Z-7476 is consistent with the Mixed-Use Corridor Land use designation in the comprehensive plan and.

Uses allowed in the CS district are consistent with the expected development along the Memorial corridor in this area, and

CS zoning is considered non injurious to the surrounding properties therefore,

Staff recommends **Approval** of Z-7476 to rezone property from OL/ to CS.

SECTION II: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: CS zoning is consistent with the expected development pattern along Memorial Drive at this location and is consistent with the land use expectations in the Mixed-Use Corridor land use designation.

Land Use Vision:

Land Use Plan map designation: Mixed-Use Corridor

A Mixed-Use Corridor is a plan category used in areas surrounding Tulsa's modern thoroughfares that pair high capacity transportation facilities with housing, commercial, and employment uses. The streets usually have four or more travel lanes, and sometimes additional lanes dedicated for transit and bicycle use. The pedestrian realm includes sidewalks separated from traffic by street trees, medians, and parallel parking strips. Pedestrian crossings are designed so they are highly visible and make use of the shortest path across a street. Buildings along Mixed-Use Corridors include windows and storefronts along the sidewalk, with automobile parking generally located on the side or behind. Off the main travel route, land uses include multifamily housing, small lot, and townhouse developments, which step down intensities to integrate with single family neighborhoods.

10.2

Areas of Stability and Growth designation: Area of Growth

The purpose of Areas of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.”

Transportation Vision:

Major Street and Highway Plan: Primary Arterial with a commuter corridor designation.

The most widespread commercial street type is the strip commercial arterial, These arterials typically serve commercial areas that contain many small retail strip centers with buildings set back from front parking lots. Because of this, strip commercial arterials have many intersections and driveways that provide access to adjacent businesses. Historically, this type of street is highly auto-oriented and tends to discourage walking and bicycling. On-street parking is infrequent.

Commuter streets are designed with multiple lanes divided by a landscaped median or a continuous two way left turn lane in the center. Commuter streets are designed to balance traffic mobility with access to nearby businesses. However, because there are so many intersections and access points on commuter streets, they often become congested. Improvements to these streets should come in the form of access management, traffic signal timing and creative intersection lane capacity improvements.

Trail System Master Plan Considerations: None that affect this site.

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: *The existing buildings have been abandoned and are structurally deficient. The site is also in the City of Tulsa Regulatory flood plain.*

10.3

STREET VIEW: Looking from the 16th At South Memorial Drive



Environmental Considerations: None

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP R/W</u>	<u>Exist. # Lanes</u>
East 16 th Street South	None	50 feet	2
South Memorial Avenue	Primary Arterial with Commuter Corridor	120 feet	5 (2 lanes each direction with center turn lane)

Utilities:

The subject tract has municipal water and sewer available.

Surrounding Properties:

<u>Location</u>	<u>Existing Zoning</u>	<u>Existing Land Use Designation</u>	<u>Area of Stability or Growth</u>	<u>Existing Use</u>
North	CS	Mixed Use Corridor	Growth	Commercial
East	RM-2	Mixed Use Corridor	Growth	Multi Family
South	CS	Mixed Use Corridor	Growth	Commercial
West	CS	Mixed Use Corridor	Growth	Car sales

SECTION III: Relevant Zoning History

History: Z-7476

ZONING ORDINANCE: Ordinance number 11816 dated June 26, 1970 established zoning for the subject property.

10.4

Subject Property:

BOA-7783 January 1973: The Board of Adjustment **approved** a *minor variance* for a modification of 25% lot coverage to permit 30% coverage in an OL District on the subject property.

Z-4073 February 1972: All concurred in **approval** of a request for *rezoning* a 1.68± acre tract of land from RS-1 to OL on the subject property.

Surrounding Property:

BOA-21664 December 2013: The Board of Adjustment **approved** a request for a *special exception* to permit a bar on a lot within 150 feet of R zoning; to **accept** the *verification* of the spacing requirement of 300 feet from any public park, school or church or any other 12a use; to **approve** the *variance* of the required parking from 88 spaces to 69 spaces; to **accept** the applicants *verification* of spacing for the proposed expansion of an adult entertainment establishment, on property located at the Southeast corner of South Memorial Drive and East 16th Street South.

BOA-17341 April 1996: The Board of Adjustment **approved** a *special exception* to permit a community group home for up to 10 resident elderly or disabled persons in an RS-1 zoned district, on property located East of the Southeast corner of East 16th Street South and South Memorial Drive.

BOA-16673 May 1994: The Board of Adjustment **approved** a *special exception* to permit Use unit 17 (mini-storage) in a CS zoned district, a **variance** to permit open air display and sales within 300' of an R district and a **variance** of the all-weather surface requirement for this use only, on property located South of the Southwest corner of East 15th Street South and South Memorial Drive.

BOA-16280 March 1993: The Board of Adjustment **approved** a *variance* of the required 60' setback from the centerline of South Memorial Drive to 50' to permit the replacement of an existing sign, on property located at the Southeast corner of South Memorial Drive and East 16th Street South.

BOA-12355 January 1983: The Board of Adjustment **approved** a *special exception* to allow a post office in a CS district with conditions, on property located at the Southwest corner of East 15th Street South and South Memorial Drive.

BOA-9862 March 1978: The Board of Adjustment **approved** the *exception* to locate an outdoor skate board tract in a CS District and an *exception* to modify the screening requirements on the south property line, on property located South of the Southwest corner of East 15th Street South and South Memorial Drive.

BOA-8761 September 1975: The Board of Adjustment **approved** an *exception* to erect a mini-storage facility with conditions, on property located South of the Southwest corner of East 15th Street South and South Memorial Drive.

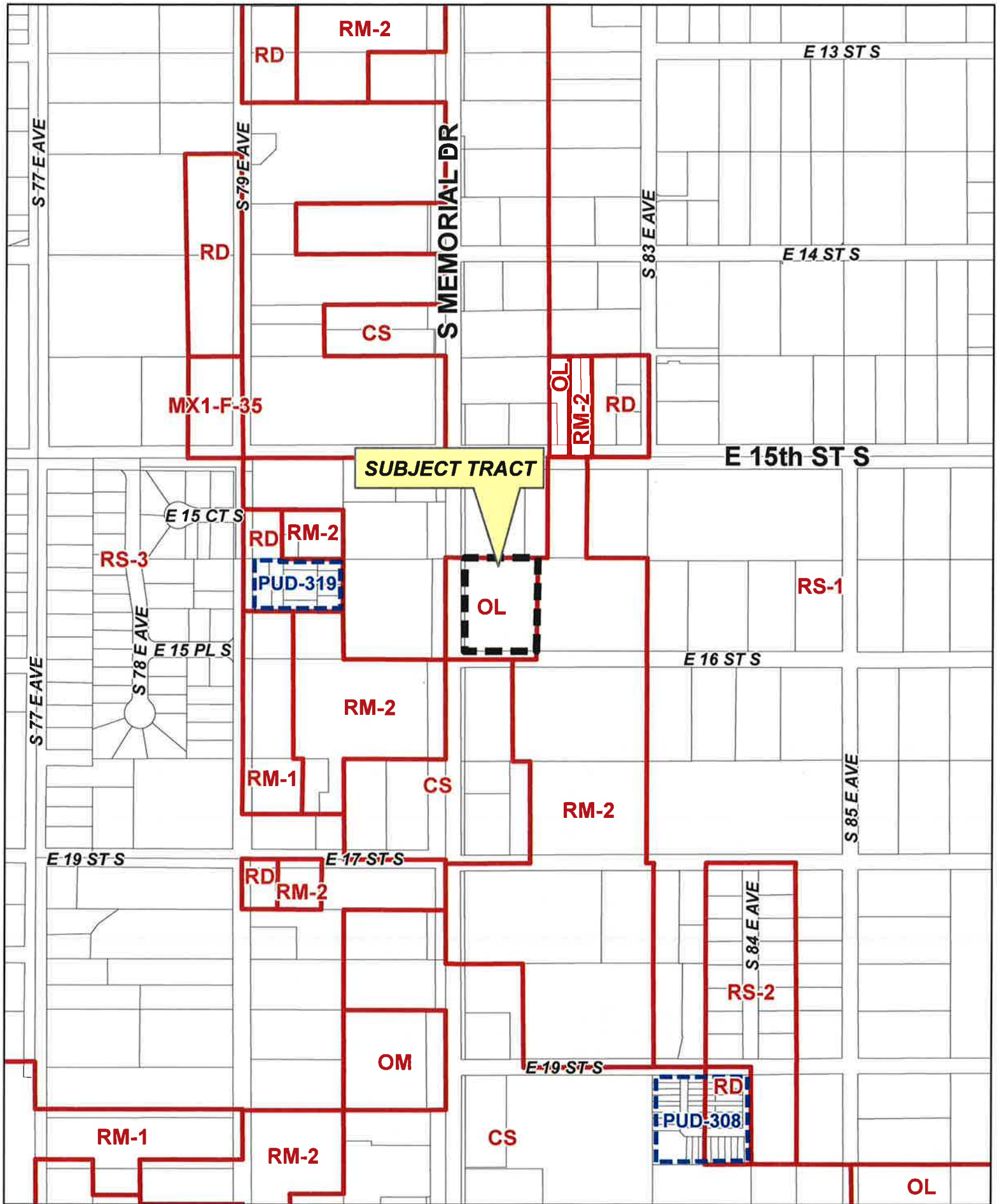
BOA-8493 March 1975: The Board of Adjustment **approved** a *special exception* to permit an extension of time in regard to the screening requirements so long as the two properties remain in the same ownership, on property located at the Southeast corner of South Memorial Drive and East 16th Street South.

BOA-8002 August 1973: The Board of Adjustment **approved** an *exception* to use property for automotive and allied activities, on property located at the Southeast corner of East 15th Street South and South Memorial Drive.

10.5

BOA-7545 July 1972: The Board of Adjustment **approved** a *variance* to permit erecting 84 units on one lot in an RM-2 District, subject to the plot plan submitted, on property located at the Southeast corner of 16th Street and Memorial Drive.

10.6

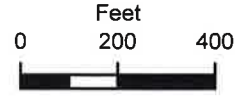


SUBJECT TRACT

OL

PUD-319

PUD-308



Z-7476

19-13 12

10.7





 Subject Tract

Z-7476

19-13 12

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018

108



S MEMORIAL DR

E 16 STS



Subject
Tract

Z-7476

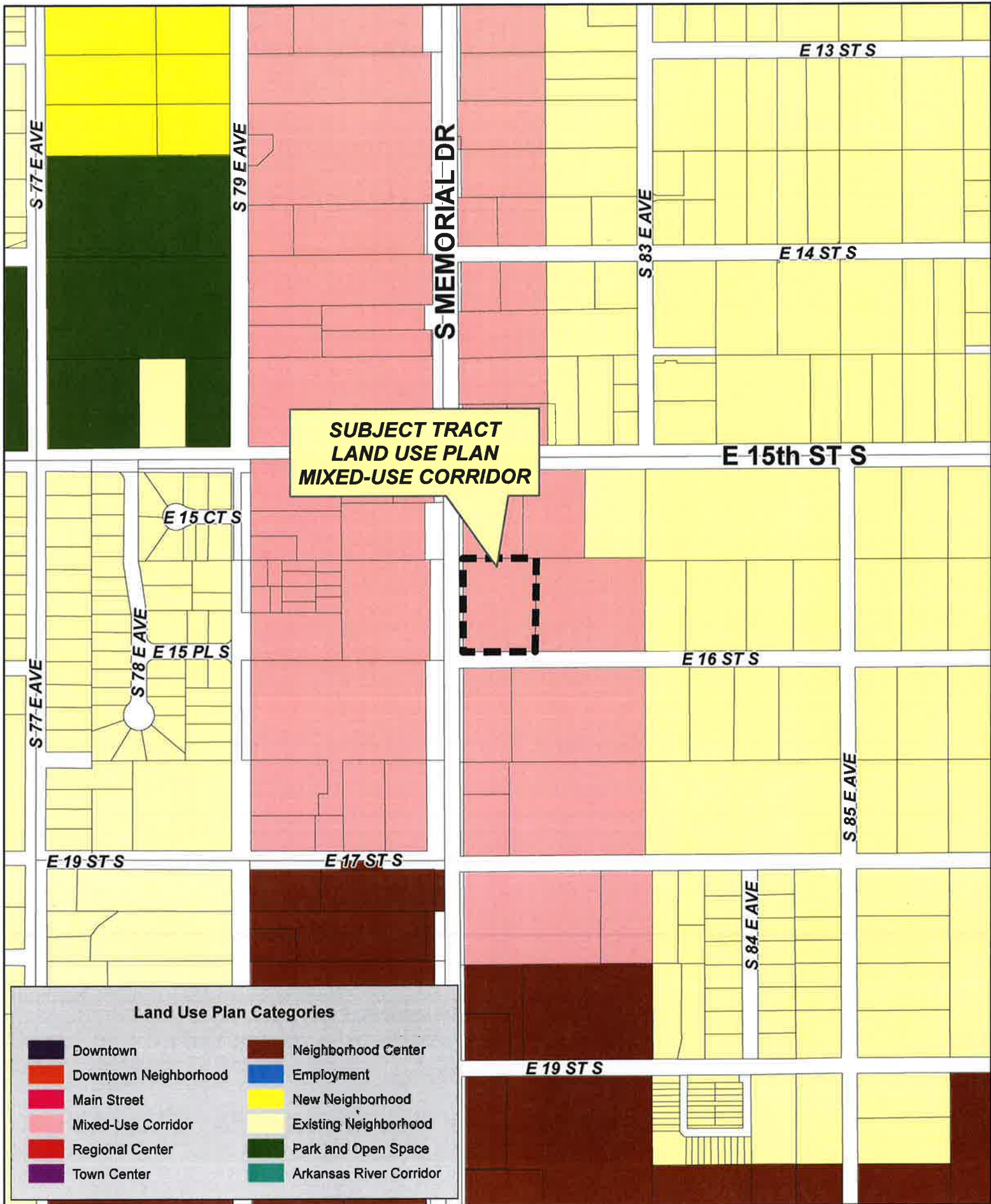
19-13 12

Note: Graphic overlays may not precisely align with physical features on the ground.

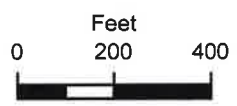
Aerial Photo Date: February 2018

10.9





**SUBJECT TRACT
LAND USE PLAN
MIXED-USE CORRIDOR**

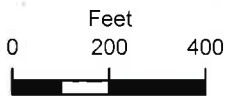
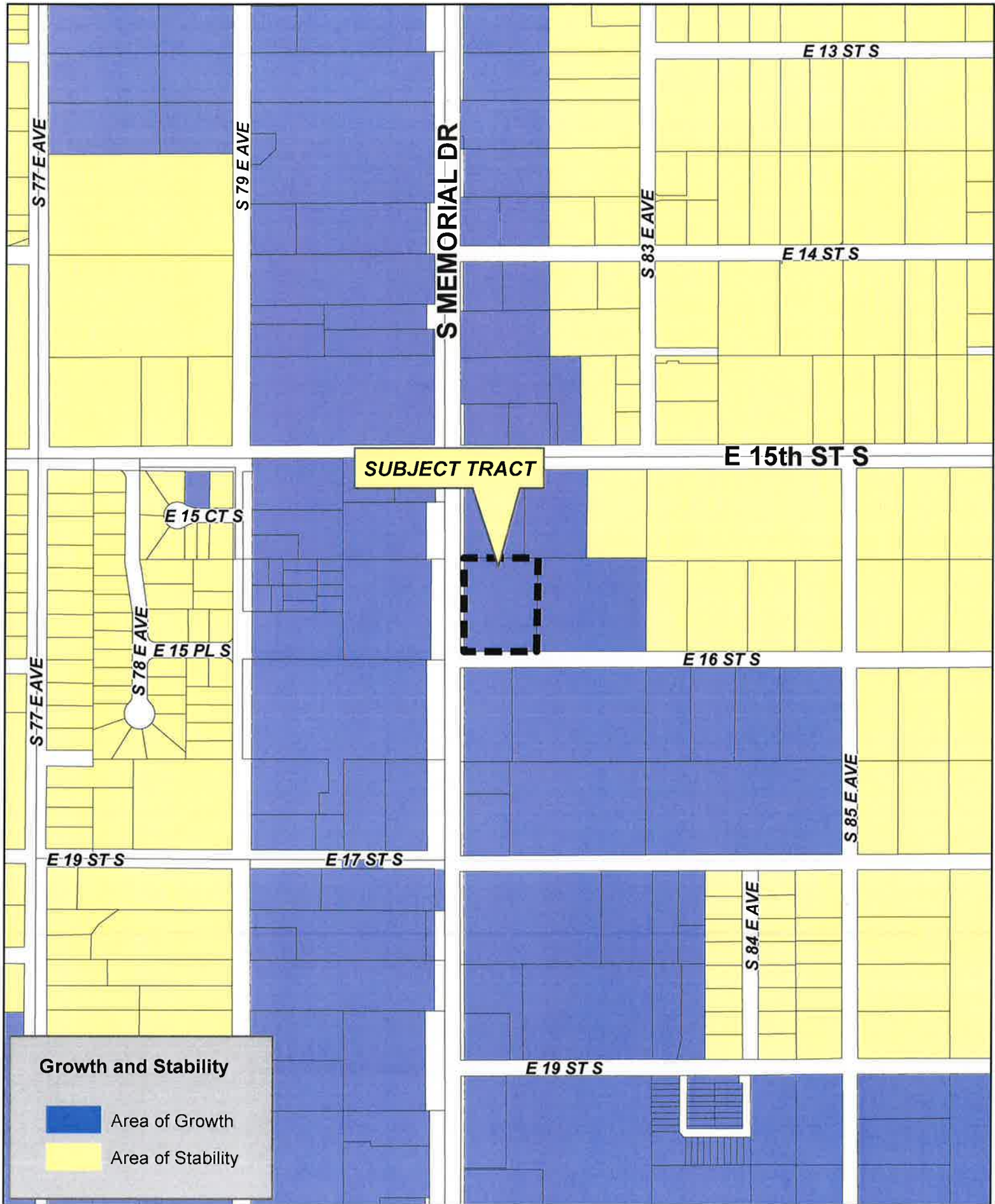


Z-7476

19-13 12

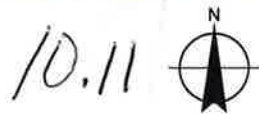
10.10





Z-7476

19-13 12





Tulsa Metropolitan Area
Planning Commission

Case Number: CZ-485

Hearing Date: April 3, 2019

Case Report Prepared by:

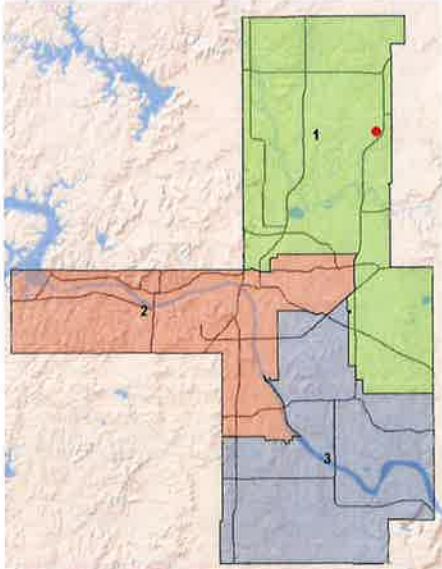
Jay Hoyt

Owner and Applicant Information:

Applicant: Danielle Pennington

Property Owner: BREWSTER, JEFFREY

Location Map:
(shown with County Commission Districts)



Applicant Proposal:

Present Use: vacant

Proposed Use: Gymnastics Facility

Concept summary: Rezone from RE to CS to permit a Gymnastics Facility.

Tract Size: 2.51 ± acres

Location: South of the Southwest corner of East 106th Street North & North 129th East Avenue

Zoning:

Existing Zoning: RE

Proposed Zoning: CS

Comprehensive Plan:

Land Use Map: N/A

Stability and Growth Map: N/A

Staff Recommendation:

Staff recommends approval.

Staff Data:

TRS: 1417

CZM: 12

County Commission District: 1

Commissioner Name: Stan Sallee

11.1

SECTION I: CZ-485

DEVELOPMENT CONCEPT: The applicant proposes to rezone the subject lot from RE to CS to permit a Gymnastics Facility. The proposed use would fall under Use Unit 19. CS zoning is the least intense zoning that would allow this use by right.

EXHIBITS:

INCOG Case map
INCOG Aerial (small scale)
INCOG Aerial (large scale)
Applicant Exhibits:
Preliminary Sketch Plans

DETAILED STAFF RECOMMENDATION:

CZ-485 is non injurious to the existing proximate properties and;

CZ-485 is consistent with the anticipated future development pattern of the surrounding property therefore;

Staff recommends Approval of CZ-485 to rezone the subject lot from RE to CS.

SECTION II: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: This area is outside of the City of Tulsa Comprehensive Plan area. This site is located adjacent to the City of Owasso, and is within the Transitional Land Use category, which this proposal would be compatible with.

Land Use Vision:

Land Use Plan map designation: N/A

Areas of Stability and Growth designation: N/A

Transportation Vision:

Major Street and Highway Plan: N 129th St S is designated as a Secondary Arterial.

Trail System Master Plan Considerations: None

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: The site is flat, lightly forested and contains a single family dwelling.

11.2

Environmental Considerations: None

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP R/W</u>	<u>Exist. # Lanes</u>
N 129 th E Ave	Secondary Arterial	100 Feet	2

Utilities:

The subject tract has municipal water available. Sewer to be provided by ODEQ approved septic system.

Surrounding Properties:

Location	Existing Zoning	Existing Land Use Designation	Area of Stability or Growth	Existing Use
North	RE	N/A	N/A	Vacant
South	RE	N/A	N/A	Vacant/Agricultural
East	RE	N/A	N/A	Single-Family
West	RE	N/A	N/A	Single Family

SECTION III: Relevant Zoning History

History: CZ-485

ZONING ORDINANCE: Resolution number 98254 dated September 15th, 1980 established zoning for the subject property.

Subject Property: No relevant history

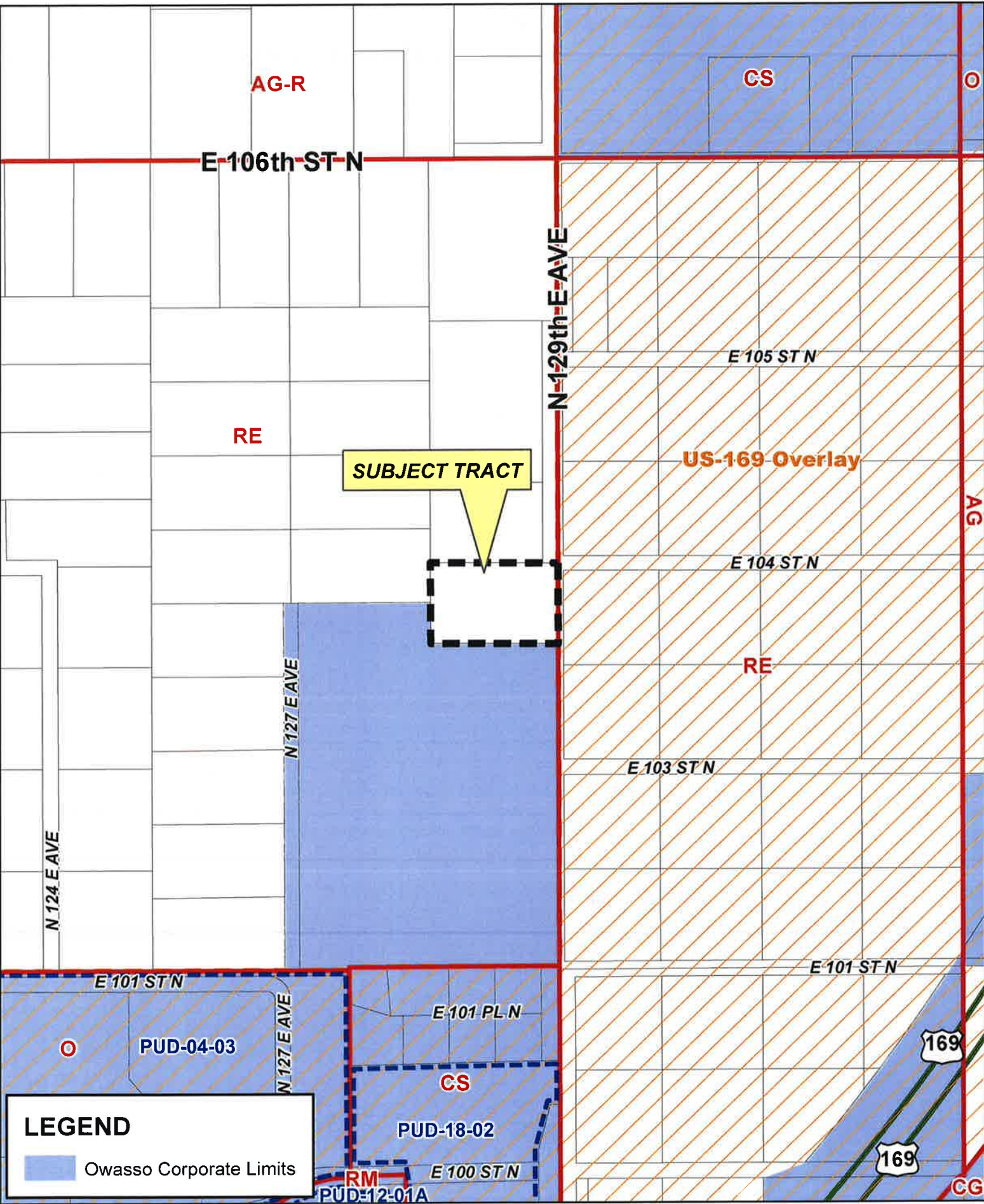
Surrounding Property:

CBOA-2017 January 2003: The Board of Adjustment **approved** a *variance* to permit an accessory structure as a principal use with conditions, on property located West of the Northwest corner of East 106th Street North and North 129th East Avenue.

CBOA-1217 December 1993: The Board of Adjustment **approved** a *special exception* to permit church use in an RE zoned district, on property located South of the Southwest corner of East 106th Street North and North 129th East Avenue.

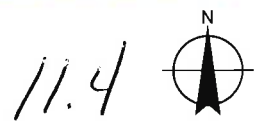
BOA-7845 April 1973: The Board of Adjustment approved a special exception to erect a church and parsonage per plot plan in an RS-1 District, on property located East of the Southeast corner of North 129th East Avenue and East 106th Street North.

11-3



CZ-485

21-14 17





E 106th ST N

N 129th E AVE

E 105 ST N

E 104 ST N

N 127 E AVE

E 103 ST N

N 124 E AVE

E 101 ST N

E 101 ST N

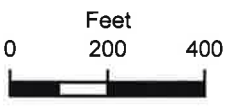
E 101 PL N

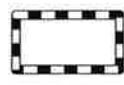
N 127 E AVE

E 100 ST N

169

169



 Subject Tract

CZ-485

21-14 17

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018





Subject Tract

CZ-485

21-14 17

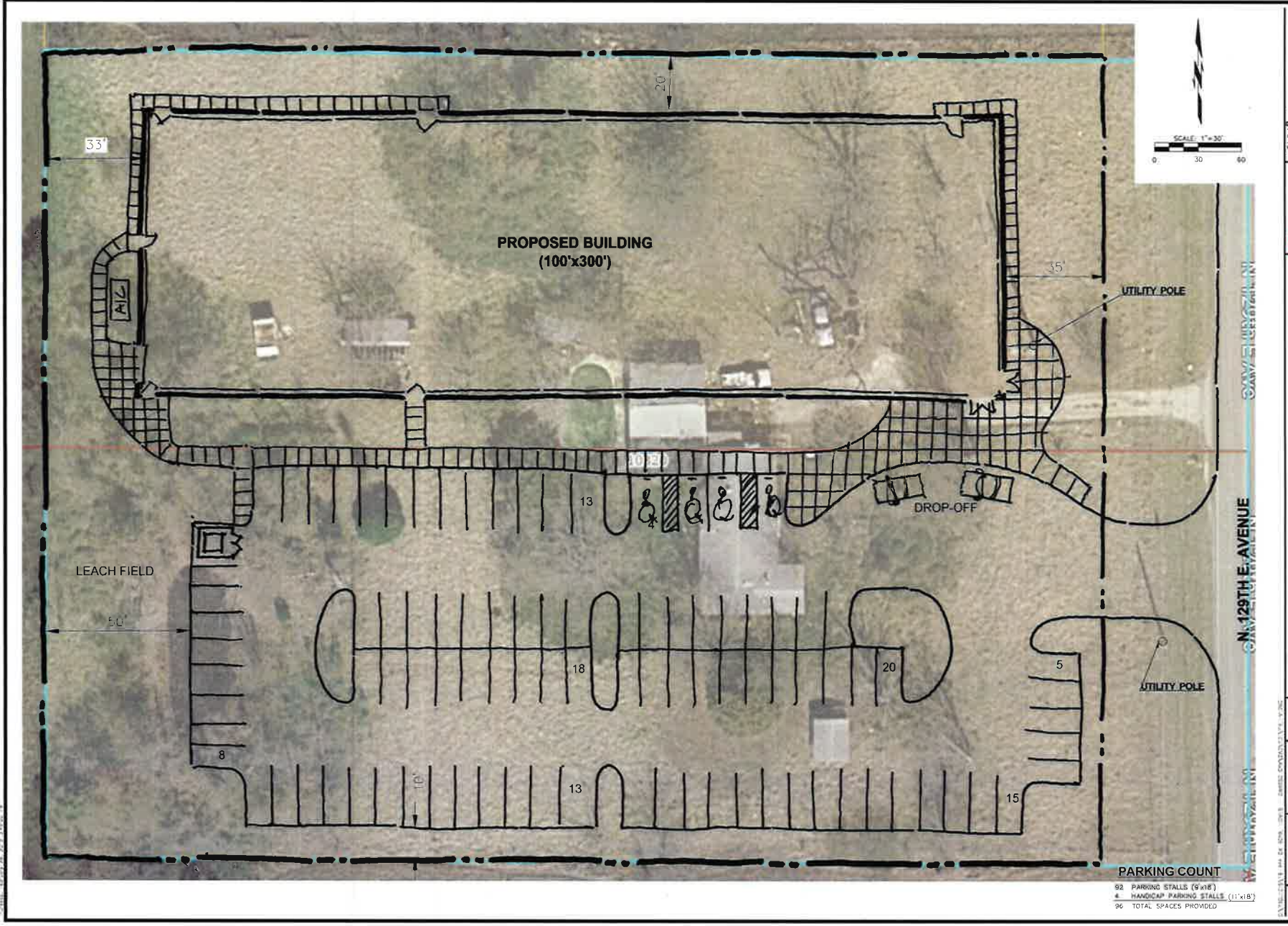
Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018

11.6



11/



CONWAY GROUP ENGINEERING
2700 N. CALLETON, SUITE 200
OKLAHOMA CITY, OK 73118
405-432-1295 | 405-432-0811
WWW.CONWAYGROUP.COM
CAP 0414 CONCES 03/02/05

PRELIMINARY
NOT FOR CONSTRUCTION

OWASSO GYM
10320 N. 129TH E. AVENUE
OWASSO, OKLAHOMA

CONCEPT
"A"

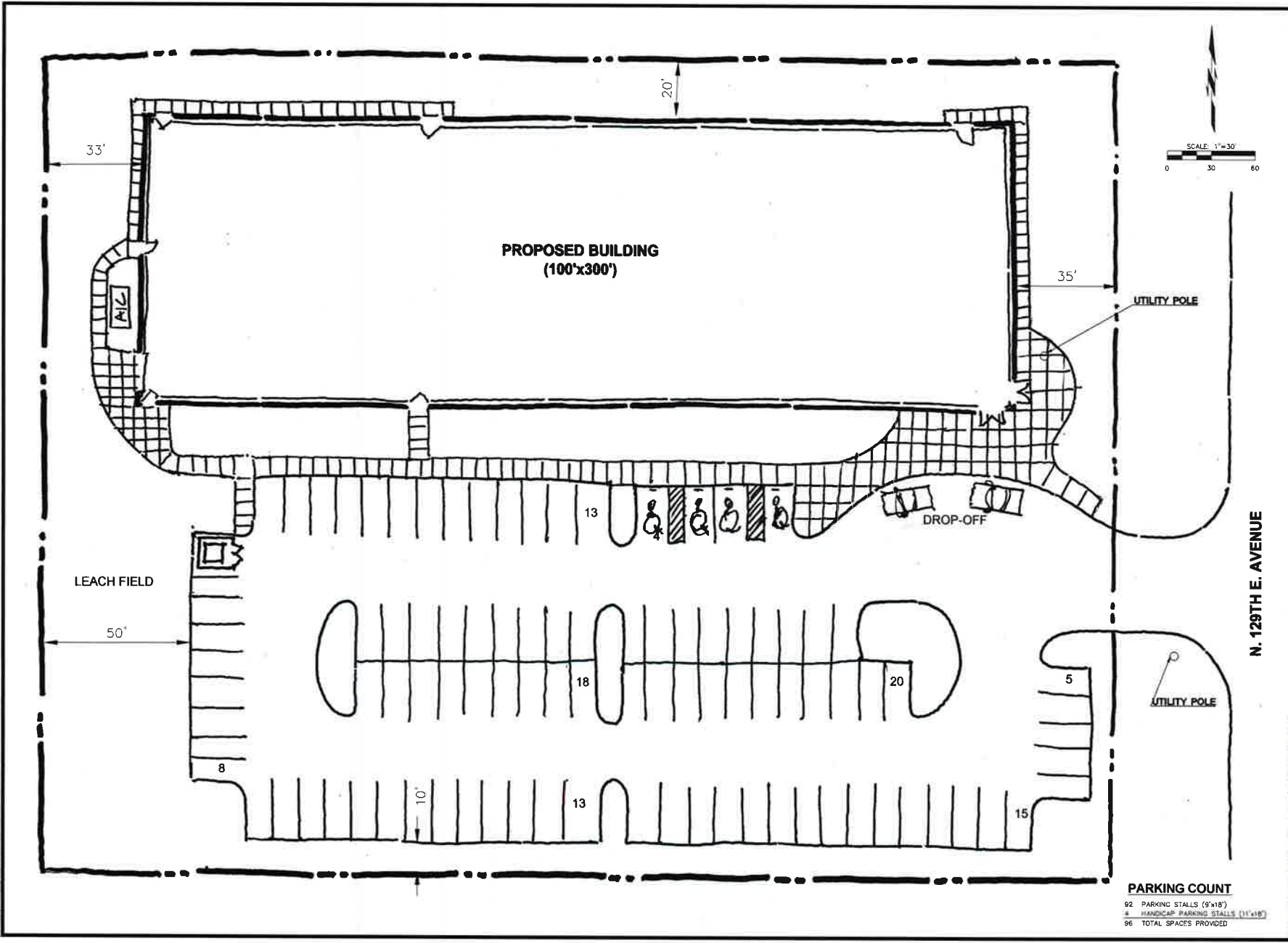
DESIGNED BY CCF
DRAWN BY CCF
REVIEWED BY CCF
PROJECT NUMBER 19.744
DATE 03/01/05

REVISIONS

SHEET NUMBER
01

PARKING COUNT
92 PARKING STALLS (9'x18')
4 HANDICAP PARKING STALLS (11'x18')
96 TOTAL SPACES PROVIDED

118



COWAN GROUP ENGINEERING
 9100 N. ELAMER, SUITE 300
 OKLAHOMA CITY, OK 73118
 405-450-0000
 WWW.COWANGROUP.COM
 EAF 6414 EXPRES 6305020

PRELIMINARY
 NOT FOR CONSTRUCTION

OWASSO GYM
 10320 N. 129TH E. AVENUE
 OWASSO, OKLAHOMA

N. 129TH E. AVENUE

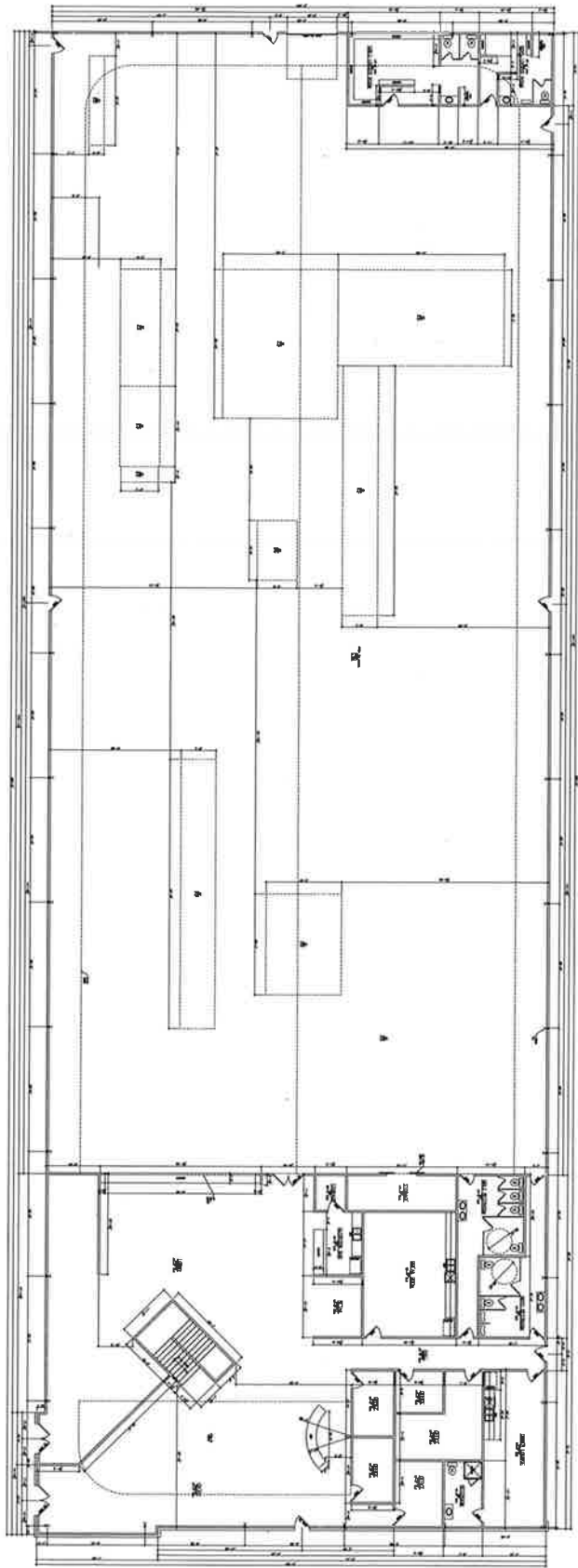
CONCEPT
 "A"

DESIGNED BY	CGE
DRAWN BY	CGE
REVIEWED BY	CGE
PROJECT NUMBER	19-744
DATE	03/01/2019
REVISIONS	

PARKING COUNT
 92 PARKING STALLS (9'x18')
 4 HANDICAP PARKING STALLS (11'x18')
 96 TOTAL SPACES PROVIDED

SHEET NUMBER
 01

11.9



FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

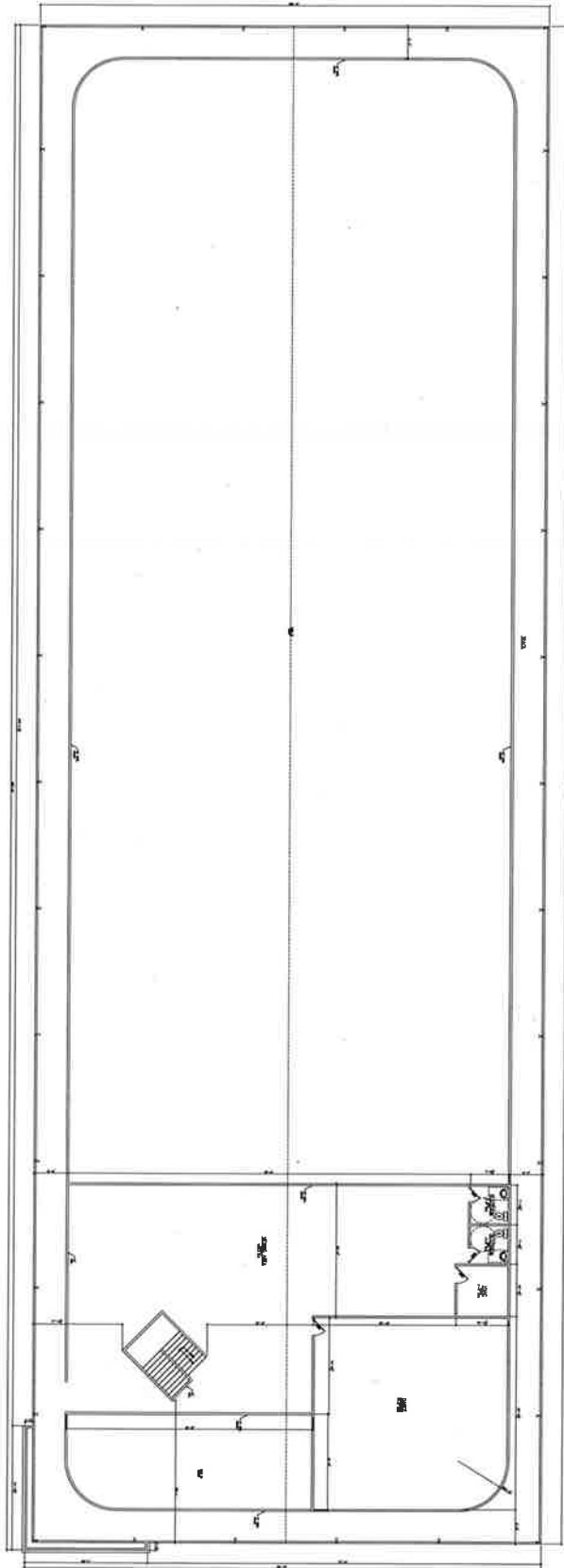
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2	2/22/2018		
3	3/23/2018		
4	4/24/2018		
5	5/25/2018		
6	6/26/2018		
7	7/27/2018		
8	8/28/2018		
9	9/29/2018		
10	10/30/2018		
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12	12/2/2018		
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96	12/27/2025		
97	1/28/2026		
98	2/29/2026		
99	3/1/2026		
100	4/2/2026		

OKLAHOMA ROYAL HOMES
FLOOR PLAN
Elite Xtreme

Plan Number
0142018

SHEET No:
1

11/10



SECOND FLOOR PLAN
Scale: 3/8" = 1'-0"

Room Number	Room Name	Area	Notes
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2	1/27/2018	#	
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30	1/27/2018	#	

OKLAHOMA ROYAL HOMES
FLOOR PLAN
Elite Xtreme

Plan Number
01142019

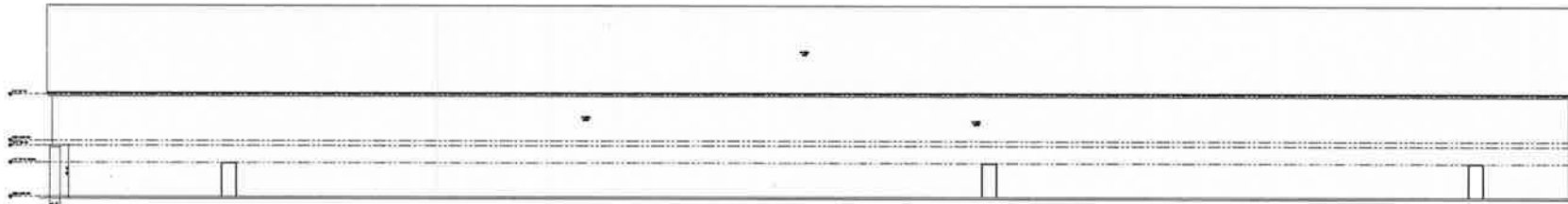
SHEET No:
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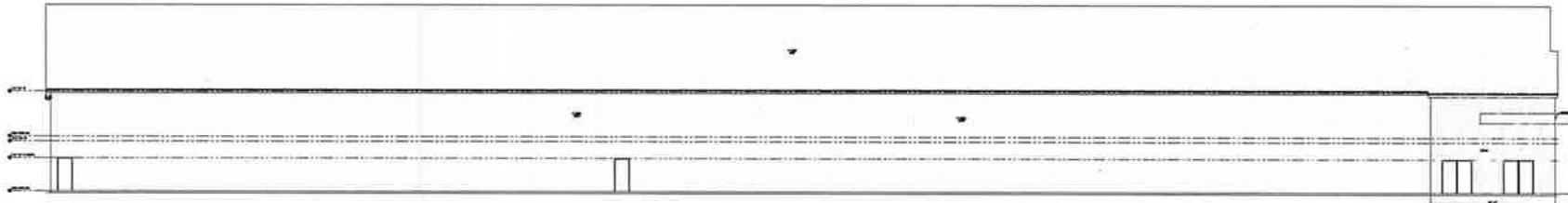
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SCALE 3/32"=1'-0"



REAR ELEVATION
SCALE 3/32"=1'-0"



RIGHT ELEVATION
SCALE 3/32"=1'-0"



LEFT ELEVATION
SCALE 3/32"=1'-0"

REVISION NUMBER	REVISION DATE	REVISION BY
1	1/21/2019	JT
2	2/22/2019	JT
3	2/22/2019	JT
4	2/23/2019	JT
5	2/27/2019	JT

OKLAHOMA ROYAL HOMES
ELEVATIONS
Elite Xtreme

Plan Number
01142019

SHEET No.
3

11.11

Prepared by Luisa Krug, lkrug@incog.org, 918.579.9454

Item

Consider initiation of proposed revisions and executive summary of West Highlands/Tulsa Hills Small Area Plan, an amendment to the Comprehensive Plan (planitulsa).

Background

The West Highlands/Tulsa Hills Small Area Plan was adopted in 2014 after a two-year community engagement process. The plan area included an area in the southwest corner of Tulsa (approximately 33rd Ave. W. to Elwood Ave and 91st St. S to 61st St. S).

This plan aimed for development predictability and attempts to balance future demand for land development with respect for existing aesthetics, open space preservation, transportation improvements and other key concerns of local stakeholders (residents, business owners, and others). The goal is that West Highlands/Tulsa Hills remains as attractive an area in which to live, locate and invest 20 years from now as it is today.

Recommendations 16.2 and 16.3 state 'Revisit this plan every five (5) years to review progress in implementing these recommendations to achieve the plan's vision' and 'Revise the plan if necessary if benchmarks and indicators show insufficient progress towards vision.'

Additionally, throughout the past five years, there has been continued discussion on the intent of the plan and attempts to clarify a variety of sections that appear contradictory. This plan also does not have an adopted executive summary with recommendations and is therefore inconsistent with the format of other adopted small area plans.

Staff Recommendation

Initiate plan revisions and executive summary of West Highlands/Tulsa Hills Small Area Plan, an amendment to the Comprehensive Plan (planitulsa).

